

# Attachment A

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Youth Services Center Gymnasium and  
Courtyard Construction Documents dated  
October 12, 2015

VICINITY MAP



LOCATION MAP



LIST OF DRAWINGS

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- A01-01 GYMNASIUM FLOOR PLAN
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- A02-01 COLOR SCHEME ELEVATIONS
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- A04-01 FLOOR PATTERN COLOR SCHEMES POD 1, 2, 3, & 4
- A04-02 FLOOR PATTERN COLOR & GRAPHICS SCHEMES FOR PODS

STRUCTURE

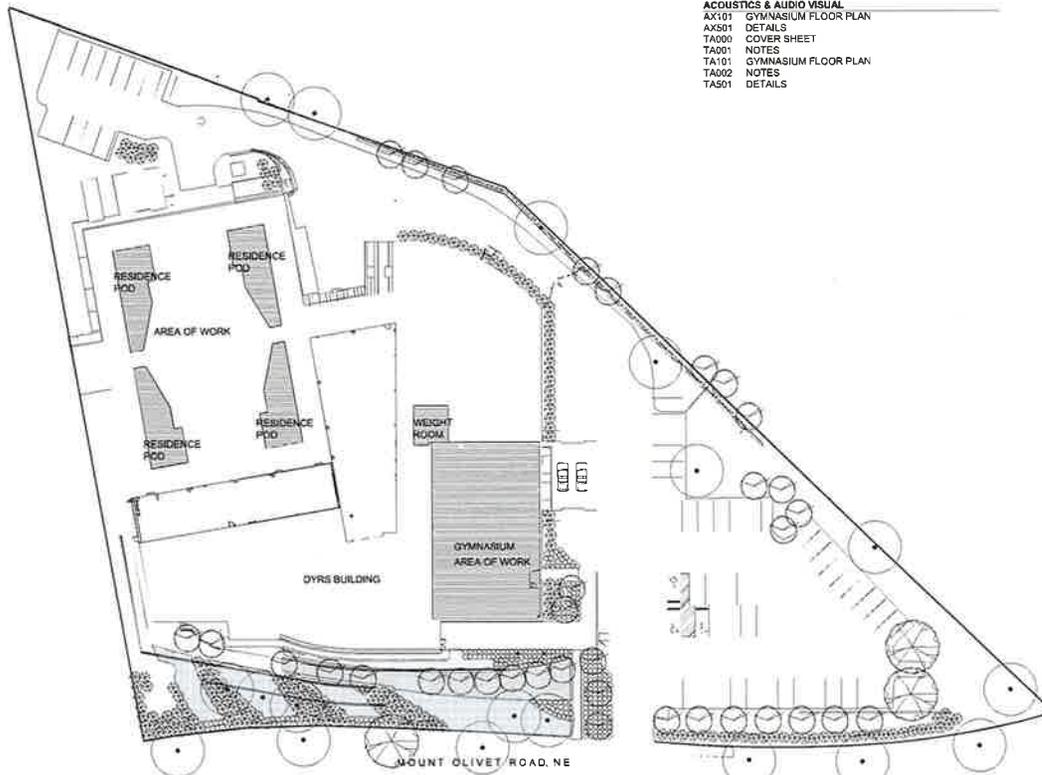
- S-1 STRUCTURAL NOTES
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- E001 ELECTRICAL COVER SHEET
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SITE PLAN  
SCALE: 1/32"=1'-0"

CS-01 CS-01

# YOUTH SERVICES CENTER GYMNASIUM RENOVATION

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

## CONSTRUCTION DOCUMENTS

OCTOBER 12, 2015

### PROJECT TEAM

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SHEET TITLE

COVER SHEET &  
LIST OF DRAWINGS

PROJECT NO

1310

SUBMISSION DATE

DATE OF ORIGIN: MAY 30, 2015

SHEET NO

CS-01

## ABBREVIATION

<p>ABOVE FINISH FLOOR ACCOMMODATE ACCOUSTICAL ACCOUSTICAL TILE ADJUSTABLE ADJACENT ALTERNATE ALUMINUM ANCHOR BOLT AND ANGLE APPROXIMATE ARCHITECT AREA DRAIN ASBESTOS ASPHALT ASSISTANT ASSOCIATE AT</p> <p>BASEMENT BATHROOM BEAM BEARING BED ROOM BEYOND BITUMINOUS BLOCK BLOCKING BOARD BOLTS BOTTOM BOTTOM OF WALL BRICK BUILDING</p> <p>CABINET CAULKING CEILING CEILING SPACE CENTER LINE CENTER TO CENTER CERAMIC CERAMIC TILE CHANNEL CLEAR CLOSED COLUMN COMMUNICATION CONCRETE CONCRETE MASONRY UNIT CONDITION CONSTRUCTION CONTINUOUS CONTRACTOR CONTROL JOINT COOLER COUNSELOR COUNTER FLASHING</p>	<p>AFF ACCOM. AC. AT ADJ. ADJ. ALT. ALUM. AB &amp; L L APPROX. ARCHIT. AD. ASB ASPH. ASSIST. ASSOC. @</p> <p>BSMT. B BM BRNG BR BYND. BIT. BLK BLKG BD. BT. BOT. BW. BRK BLDG.</p> <p>CAB. CL.KG. CLNG. C.S. CL. CC. CER. CT. I CLR. C./CL. COL. COMM. CONC. CMU COND. CONST. CONT. CONTR. CJ. CLR. COJNS. CLFG</p>	<p>DEPTH DETAIL DIAMETER DIMENSION DR. DOWN DOWN SPOUT DRAIN LEADER DRAWING</p> <p>EAST EACH ELECTRICAL ELECTRICAL WATER COOLER ELEVATION EMPLOYEE EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION BOLT EXPANSION JOINT EXTERIOR EXTERIOR INSULATED FINISH SYSTEM</p> <p>FACE OF COLUMN FACE OF FRAME FACE OF MASONRY FACE OF WALL FINISHED FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE PROOFING FIXTURE FLASHING FLOOR FLOOR DRAIN FOOT/FEET FOOTING FOUNDATION FREE AIR FREEZER FURNITURE/FIXTURE/EQUIPMENT</p> <p>F.C. FF. FM. FW. FIN. FE. FEC. FIX. FLASHG. FL. FD. FT. FTG. FDN. FA. FRZR. FIZE.</p>	<p>DPT. DET. Ø DIM. DR. DN. DS. DL. DWG.</p> <p>E. EA. ELECT. EWC. ELEV. EMP. EQ. EQUIP. EXH. EXIST. EXP.BT. EJ. EXT. EIFS.</p> <p>FACE OF COLUMN FACE OF FRAME FACE OF MASONRY FACE OF WALL FINISHED FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE PROOFING FIXTURE FLASHING FLOOR FLOOR DRAIN FOOT/FEET FOOTING FOUNDATION FREE AIR FREEZER FURNITURE/FIXTURE/EQUIPMENT</p> <p>GALVANIZED GENERAL GLASS GRADE GYPSUM GYPSUM WALL BOARD</p> <p>HARDWARE HANDICAPPED HIGH POINT HEIGHT HOLLOW METAL HORIZONTAL HOUR</p>	<p>INCH INCLUDED INFORMATION IMPACT RESISTANT GYPSUM BOARD INSIDE DIAMETER/DIMENSION INSULATION INTERIOR JANITOR'S CLOSET JOINT JUNCTION KITCHEN KITCHEN/LAUNDRY LAVATORY LENGTH, LOUVER LIGHT LIGHT WEIGHT LOCATION LOCKERS LOW POINT LONG LEG VERTICAL LAMINATED VENEER LUMBER</p> <p>MACHINE MANAGER MANUFACTURER MASONRY, MASON MASONRY OPENING MATERIAL MAXIMUM MECHANICAL METAL MINIMUM MISCELLANEOUS MOP BASIN</p> <p>NORTH NOT TO CONTRACT NOT TO SCALE NUMBER</p> <p>OFFICE ON CENTER OPENING OPPOSITE ORIENTED STRAND BOARD OUTSIDE DIMENSION</p>	<p>*IN INCL. INFO. IRGB. ID. INSUL. INT. JC. JT. JCT. K. KL LAV. L LT LTWT. LOC. LOC. LP LLV. LVL.</p> <p>MACH. MGR. MFR. MAS. MO. MATL. MAX. MECH. METAL. MIN. MISC. MB.</p> <p>N. NTC. NTS. PRZR. NO.#</p> <p>OFF. OC. OPNG. OPP. OSB OD.</p>	<p>PAINT PAINTED PAIR PARAPET PERCENT PLASTIC LAMINATED PLATE PLUMBING PLYWOOD PLATE GLASS POINT POUNDS POUND PER SQUARE INCH PRECAST CONCRETE PROJECTION QUARRY TILE</p> <p>RADIUS RECREATION REFRIGERATOR REINFORCING REQUIRED ROOF ROOF DRAIN ROOM SCHEDULE SECTION SHEET SHOWER SIMILAR SOUTH SPECIFICATION SQUARE SQUARE FOOT/FEET SQUARE INCH START POINT OF THE CEILING STEEL STORAGE STRUCTURE SURFACE</p> <p>TELEPHONE THRESHOLD THROUGH TILETOP TOILET TOP OF CURB TOP OF JOIST TOP OF PARAPET TOP OF STEEL TOP OF WALL TOP AND BOTTOM TYPICAL</p> <p>UNLESS NOTED OTHERWISE</p>	<p>PNT. PTD. PRL PARA. % PLAM. PWC. FL PLUMB'G. PLYWOOD PL GL. PT. LBS. PSI. PRE CONC. PRCJ. Q.T.</p> <p>R. REC. REF. REINF. REQ.D. RF. R.D. RM. SCH. SECT. SHT. SHW. SHM. S. SPEC. SQ. SQ. FT. SQ. IN. SFC. STL. STOR. STRUC. SURF.</p> <p>TEL. THR. THRU. T. TOILT TC. T.JST. TOP. TOS. TOW/TW. T &amp; B TYP.</p> <p>UNO.</p>	<p>VAPOR BARRIER VENTILATION/VENTILATOR VENDING MACHINES VERIFIED IN FIELD VERTICAL VESTIBULE VINYL COMPOSITE TILE WATER CLOSET WATER PROOF PLYWOOD WEST WITH WIDE FLANGE WIDTH/WASHER WITHOUT WOOD</p> <p>VP. VENT. VEND. MACH VIF. VERT. VEST. VCT. WG. WP. WT. W. WF. W. W/O WD.</p>
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## MATERIAL INDICATIONS

	BRICK MASONRY		ROUGH LUMBERWOOD BLOCKING (CONTINUOUS)
	FIRE RATED CMU WALL		ROUGH LUMBERWOOD BLOCKING (DISCONTINUOUS)
	RIGID INSULATION		PLYWOOD
	MORTAR/GYPSUM/EIFS		EARTH
	CONCRETE		BUT INSULATION
	CMU MASONRY		STEEL (LARGE SCALE)
	GLASS		CARPET
	DRYWALL PARTITION		SPLIT FACE CMU/SOFFT
	CAULKING		CERAMIC/QUARRY TILE
	GRAVEL		EXISTING WALL & SLABS (PLANS & SECTIONS)

## SYMBOLS

	HANDICAPPED STANDARD		REVISION NUMBER
	CHANGE IN ELEVATION OF CEILING, FLOOR ETC.		DETAIL NUMBER
	ROOM NUMBER		DWG. TITLE
	STOREFRONT/CURTAIN WALL DETAIL NUMBER		DWG. NUMBER
	ELEVATION DESIGNATION		DETAIL NUMBER BUILDING CUT
	GLAZING TYPE		DWG. NUMBER WALL SECTION CUT
	FIXTURE ACCESSORY NUMBER		INTERIOR ELEVATION MARKER
	WALL TYPE		INTERIOR ELEVATION MARKER
	ALIGN		INTERIOR ELEVATION NUMBER
	DOOR NUMBER		DETAIL NUMBER
	EXISTING DOOR & FRAME NUMBER		DETAIL MARKER
	DOOR & FRAME NUMBER		DWG. NUMBER
			EXTERIOR ELEVATION NUMBER
			DWG. NUMBER

UNMCK  
\*\*\*  
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SUBMISSION SCHEDULE DATE  
NO DESCRIPTION

REVISION SCHEDULE DATE  
NO DESCRIPTION

PROJECT:  
**DYRS GYMNASIUM  
RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**ABBREVIATIONS & SYMBOLS**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: NOT TO SCALE  
SHEET NO:

## GENERAL NOTES

THE FOLLOWING NOTES ARE APPLICABLE FOR THIS PROJECT. PROJECT COMPRISES OF IMPROVEMENTS AT THE GYMNASIUM AND RESIDENTIAL POOLS IN THE EXISTING FACILITY. PROJECT CONSISTS OF CIVIL, LANDSCAPING, STRUCTURAL, ARCHITECTURAL, ELECTRICAL, AND ACOUSTICAL TECHNOLOGY WORK ONLY.

1. SITE VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS INDICATED ON EXISTING CONDITIONS DRAWINGS, PRIOR TO FABRICATION AND/OR INSTALLATION OF THE NEW WORK UNDER THIS CONTRACT.
2. ABBREVIATIONS THROUGHOUT THE CONTRACT DOCUMENTS ARE TO BE READ SIMILARLY WITH OR WITHOUT PERIODS OR APOSTROPHES WITHIN THE ABBREVIATION.
3. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL AND NATIONAL CODES AND STANDARDS. ANY ITEMS REVISED IN THE CONTRACT DOCUMENTS THAT CONFLICT WITH CODES ARE TO BE NOTED PRIOR TO BIDS.
4. ITEMS AND CONDITIONS NOTED OR DETAILED ARE APPLICABLE AND BINDING TO SIMILAR CONDITIONS ON ALL DRAWINGS. FOR CONDITIONS NOT NOTED OR DETAILED, CONTRACTOR SHALL PROVIDE MATERIAL AND LABOR OF EQUAL QUALITY AND PERFORMANCE TO OTHER SIMILAR CONDITIONS ON THE JOB.
5. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES PERTAINING TO THEIR PARTICULAR TRADES AND FIELD CHECK AGAINST ANY CONFLICTS BETWEEN DRAWINGS. GENERAL CONTRACTOR SHALL COORDINATE WORK OF ALL TRADES & REPORT TO THE ARCHITECT ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK, PRIOR TO THE FABRICATION AND INSTALLATION OF NEW WORK.
6. ANY AREAS OR SPACES NOT CLEARLY DEFINED OR INDICATED BY NOTES SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH ASSUMPTIONS. BIDS ARE TO ACCOMMODATE MOST STRINGENT SCENARIO/OPTION/ASSUMPTION.
7. ELECTRICAL SWITCHES, OUTLETS OR OTHER WALL MOUNTED ACCESSORIES SHALL BE INSTALLED IN LOCATIONS WHICH ARE SHOWN ON DRAWINGS. CONTRACTOR TO COORDINATE LOCATIONS PRIOR TO FABRICATION AND INSTALLATION OF ANY RELATED ITEMS IN CASE OF AMBIGUITY CONSULT WITH THE ARCHITECT.
8. ELECTRICAL SWITCHES, THERMOSTATS, EXPOSED ELECT. ITEMS OR OTHER ELECTRONIC CONTROLS IN THE NEW WORK SHALL BE MOUNTED AT THE SAME HEIGHT FROM FLOOR AS EXISTING IN A UNIFORM ORDERLY FASHION. ALL SUCH ITEMS ARE SHOWN ON DWGS. EXISTING LOCATION OF ALL ITEMS ARE TO BE CONFIRMED WITH ARCHITECT ON SITE PRIOR TO INSTALLATION.
9. ALL COLORS AND FINISH MATERIALS TO BE APPROVED BY THE OWNER AND THE ARCHITECT. BIDS ARE TO ACCOMMODATE SELECTION FROM MANUFACTURER'S FULL RANGE OF COLORS, FINISHES AND FABRICATION.
10. DIMENSIONS FOR ALL WALLS SHOWN ON PLANS ARE NOMINAL. THE CONTRACTOR SHALL USE ACTUAL DIMENSIONS SHOWN ON WALL TYPES SHEET FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
11. DIMENSIONS AT MASONRY WALLS ARE TO FACE OF WALL, U.O.N.
12. CONTRACTOR SHALL APPLY FOR, PAY FOR, AND OBTAIN ALL NECESSARY PERMITS OTHER THAN THE BUILDING PERMIT.
13. ALL SURFACES EXPOSED TO VIEW MUST BE PRIMED AND PAINTED, UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL DISCONNECT AND CAP ALL UTILITIES THAT WILL BE AFFECTED BY WORK UNDER THIS CONTRACT PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. RECONNECT AS REQUIRED FOR FULLY FUNCTIONING SYSTEMS.
15. CONTRACTOR SHALL PROTECT EXISTING BUILDING AND ELEMENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION UNDER THIS CONTRACT. IN CASE OF ANY DAMAGE, CONTRACTOR SHALL CORRECT THE DAMAGE TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER AT NO COST TO THE OWNER.
16. WHERE EXISTING FLOORING IS REPLACED BY NEW FLOORING, CONTRACTOR SHALL REMOVE EXISTING FLOORING, ADHESIVES AND IMPERFECTIONS IN THE EXISTING FLOOR BY GRINDING THE FLOOR SLAB TO AN ABSOLUTELY FLAT SURFACE AND PROVIDING CONCRETE LEVELERS TO ACHIEVE A LEVEL, PLUMB, FLAT FINISHED FLOOR.
17. UNLESS NOTED AS EXISTING OR RELOCATED, ALL CONSTRUCTION IS TO BE ASSUMED NEW AND FURNISHED AND INSTALLED BY THE CONTRACTOR.
18. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND GOVERNMENT REGULATIONS INCLUDING BUT NOT LIMITED TO: IBC 2012. WHERE SPECIFIED OR INDICATED REQUIREMENTS OF MORE CURRENT VERSIONS OF CODES, REGULATIONS, ETC. CONFLICT WITH THAT OF THE DC GOVERNMENT, THE MOST STRINGENT OF THE TWO SHALL GOVERN.
19. CONTRACTOR TO BECOME FULLY FAMILIAR WITH CONTRACT DOCUMENTS PRIOR TO BIDDING. ANY ABBREVIATIONS, TYPPOS, LANGUAGE MIS-USES, UNFAMILIAR TEXT, NOTES, WORDINESS, DETAILS, ETC NOT UNDERSTOOD SHOULD BE BROUGHT TO THE CONTRACTING OFFICER'S ATTENTION PRIOR TO BIDDING.
20. DRAWINGS ARE TO PROVIDED FOR DESIGN INTENT. CONTRACTORS BID SHALL INCLUDE VERIFYING EXISTING CONDITIONS AND MAKING NECESSARY ADJUSTMENTS TO THE SATISFACTION OF THE OWNER/ARCHITECT.
21. COORDINATE SITE ACCESS, STAGING, STORING, MATERIALS, WORK HOURS, WITH THE DGS PROJECT MANAGER PRIOR TO BIDDING.



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SUBMISSION SCHEDULE	DATE
NO. DESCRIPTION	

REVISION SCHEDULE	DATE
NO. DESCRIPTION	

PROJECT:

**DYRS GYMNASIUM  
RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:

**GENERAL NOTES**

PROJECT NO: 1310

OCTOBER 12, 2015

SCALE: AS NOTED

SHEET NO:

**G-02**




**EXISTING FIRST FLOOR PLAN**  
 SCALE: 1/16"=1'-0"  
 1  
 AE-01 | AE-01

**LEGEND GENERAL SCOPE OF WORK**

- RESIDENCE POD**
- FLOORING & FLOOR BASE:** EXISTING FLOORING TO BE REMOVED AND TO BE PREPARED FOR RUBBER TILES FLOORING.
  - MISCELLANEOUS:** ALL INTERIOR WALLS DOORS & FRAME IN PODS AREA TO BE PAINTED
- NOTE**  
SEE DRAWINGS AT A04-01, A04-02, FOR DETAILS.

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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

**PROJECT:**  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

**SHEET TITLE:**  
**EXISTING FLOOR PLAN & SCOPE OF WORK**

PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:



EXISTING SECOND FLOOR PLAN  
SCALE: 1/16"=1'-0"  
1  
AE-02 | AE-02

### LEGEND SCOPE OF WORK

- RESIDENCE POD
- 1. FLOORING FLOOR BASE: EXISTING FLOORING TO BE REMOVED AND TO BE PREPARED FOR RUBBER TILES FLOORING
- 2. MISCELLANEOUS: ALL INTERIOR WALLS DOORS & FRAME IN POD AREA TO BE PAINTED
- GYMNASIUM
- 1. ACOUSTICAL PANELS: PROVIDE ACOUSTICAL PANELS AT ALL GYMNASIUM WALLS
- 2. STAGE: WALL MOUNTED RETRACTABLE STAGE SHALL BE PROVIDED
- 3. BASKETBALL HOOP: ADDITIONAL 4 BASKETBALL HOOPS SHALL BE PROVIDED AT GYMNASIUM. 2 EXISTING BASKET HOOPS TO BE REPLACED.
- 4. DIVIDER CURTAIN: PROVIDE ELECTRICALLY OPERATED SPACE DIVIDER
- 5. WALLS: PAINT ALL EXPOSED GYMNASIUM WALLS, DOORS & FRAMES
- 6. LIGHTING: PROVIDE LIGHTING FOR THE STAGE. PROVIDE LED STRIP LIGHTS AT SPECIFIC NEW ACOUSTICAL PANEL LOCATIONS. THEY ARE TO BE CONTROLLED BY DYRS WITH THE ABILITY TO CHANGE LIGHTING COLORS. CEILING FIXTURES WILL REMAIN BUT LIGHT BULBS WILL BE REPLACED WITH ENERGY EFFICIENT LED BULBS.
- 7. FLOORING: EXISTING FLOORING TO BE REFINISHED STAINED, AND NEW STRIPING TO BE PROVIDED FOR THE BASKETBALL COURT. COORDINATE WITH DYRS FOR CENTER COURT LOGO/GRAPHIC.
- 8. WEIGHT ROOM: ADDITIONAL STAINLESS STEEL MIRROR WILL BE PROVIDED.
- \*\*\*\*\* STRUCTURAL ELEMENTS
- WALLS: NEW OPENINGS TO BE CREATED IN THE EXISTING WALL BETWEEN THE COURTYARD 1 & COURTYARD 2
- NOTE: SEE STRUCTURAL DRAWINGS FOR DETAILS

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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**EXISTING FLOOR PLAN & SCOPE OF WORK**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

**DEMOLITION NOTES:**

**GENERAL:**

1. BEFORE STARTING DEMOLITION, WALK THE SPACE WITH THE ARCHITECT TO EXPLAIN THE PROCESS AND PROCEDURE OF DEMOLISHING THE ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED.
2. PROTECT WALLS, CEILINGS AND FLOORS AROUND THE DEMOLITION AREAS WITH SUITABLE MATERIALS SUCH AS PLYWOOD, CLOTH AND PLASTIC TO PREVENT FROM DAMAGE DURING DEMOLITION.
3. IN CASE OF DAMAGE TO FINISHES AND SURFACES OF THE ITEMS TO REMAIN, CONTRACTOR SHALL REPAIR AND FIX DAMAGED ITEMS WITH NEW TO MATCH THE EXISTING AT NO ADDITIONAL COST TO THE OWNER AND ACCEPTABLE TO THE ARCHITECT.
4. SEAL PROJECT WORK AREA FROM OTHER AREAS OF THE BUILDING TO PREVENT DUST TRAVELLING OUTSIDE OF THE WORK AREA.

**DEMOLITION KEYNOTES:**

- A. RESIDENCE PODS:**
1. REMOVE EXISTING BASE AND FLOOR FINISHES. CLEAN CONCRETE SUBFLOOR OF ADHESIVES, SEALANTS OR MASTIC TO A LEVELLED SMOOTH FINISH ACCEPTABLE TO THE NEW RUBBER TILE MANUFACTURER/INSTALLER.
- B. GYMNASIUM:**
2. PROTECT ALL VERTICAL SURFACES AND SEAL OFF ALL VENTILATION SYSTEMS TO PREVENT AIRBORNE CONTAMINATES GETTING INTO ADJACEMENT AREAS.
  3. DEMOLISH EXISTING ACOUSTICS WALL PANELS. ON COMPLETION OF PANELS REMOVAL, ASK ARCHITECT TO INSPECT THE FRAMING TO DETERMINE IF THEY CAN BE USED. IF NOT REMOVE ALL FRAMING AND SUPPORTS AT THE GYMNASIUM WALLS. COVER AND PROTECT SURROUNDING WALLS, FLOORING AND CEILINGS FROM DAMAGE DURING DEMOLITION.
  4. DEMOLISH EXISTING BASKETBALL HOOPS AND SUPPORTS.
  5. REMOVE EXISTING BASE ON ALL WALLS, DOORS AND FRAMES.
  6. REMOVE ALL CEILING LIGHT BULBS. ALL CEILING LIGHT FIXTURES WILL REMAIN IN PLACE TO RECEIVE NEW BULBS.
  7. INSPECT GYMNASIUM FLOOR FOR DAMAGED WOOD. ANY REPAIRS TO GYM FLOOR SHOULD BE DONE IN A MANNER AS TO MATCH THE EXISTING FLOORING AS CLOSE AS POSSIBLE.
  8. SAND GYM FLOOR USING THE COARSE, MEDIUM AND FINE SANDING MACHINES TO REMOVE THE EXISTING FINISH AND THE FLOOR SURFACE IS COMPLETELY SMOOTH AND ACCEPTABLE TO RE-FINISH MATERIAL MANUFACTURER'S SATISFACTION. SCREEN AND VACUUM THE FLOOR TO ENSURE IT FREE FROM ALL DUST PARTICLES. PROVIDE FLOOR FINISH REMOVAL SPECIFICATIONS TO THE ARCHITECT WITH COMPLETE DETAILS ON SANDING OPERATION, NUMBER OF SANDINGS, TYPE OF SANDERS, BUFFERS, GRITS AND VACUUMING PROCESS. OBTAIN ARCHITECT'S WRITTEN APPROVAL PRIOR TO STARTING THE FINISH REMOVAL WORK.
- C. WEIGHT ROOM:**
9. REMOVE EXISTING PANELS AND EQUIPMENT ON THE WALLS.
  10. ALL SIDES OF WALLS TO BE PATCHED, CLEANED FOR PAINTING.

**LEGEND**

- ITEMS TO BE DEMOLISHED
- EXISTING FLOOR FINISH TO BE REMOVED
- EXISTING FLOOR FINISH TO BE REFINISHED
- EXISTING ACOUSTICAL PANEL TO BE DEMOLISHED (ALL SIDES)

OWNER



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SUBMISSION SCHEDULE DATE

NO DESCRIPTION

REVISION SCHEDULE DATE

NO DESCRIPTION

PROJECT:

**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:

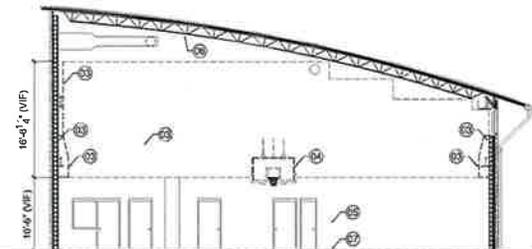
**DEMOLITION PLANS & SECTION**

PROJECT NO: 1310

OCTOBER 12, 2015

SCALE: AS NOTED

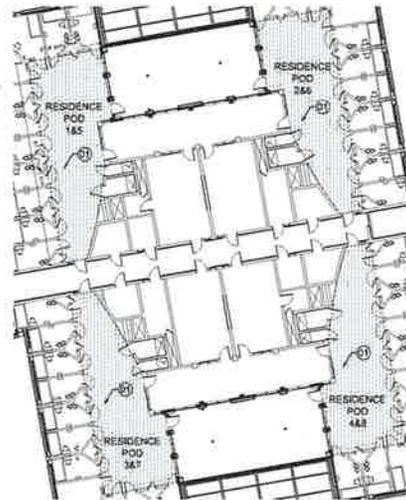
SHEET NO:



DEMOLITION TYPICAL AT SECTIONAL ELEVATION

SCALE: 1/8"=1'-0"

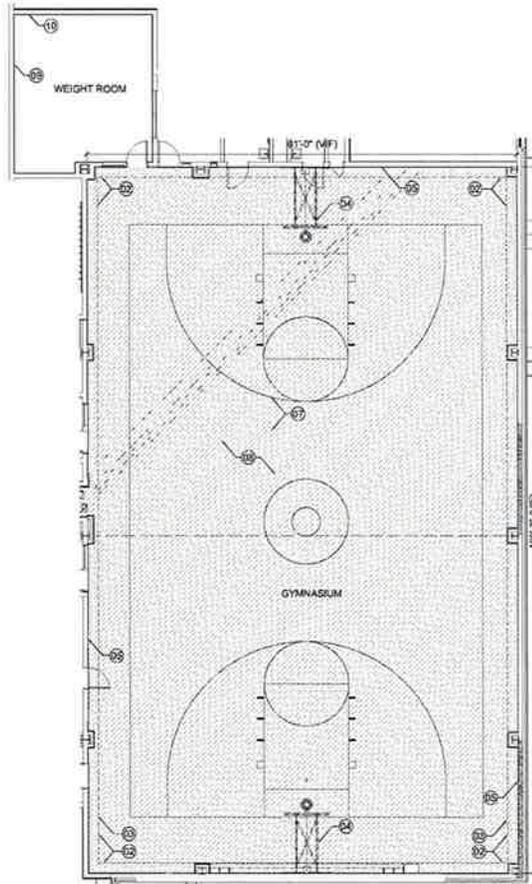
AD-01 AD-01



DEMOLITION PLANS AT FIRST & SECOND LEVEL

SCALE: 1/16"=1'-0"

AD-01 AD-01



GYMNASIUM FLOOR PLAN DEMOLITION

SCALE: 1/8"=1'-0"

AD-01 AD-01

## WALL/PARTITION SCHEDULE

W01	7/8" Furring Channel with 3/4" Wood-Plastic Composite Panel Anchored to Existing CMU Wall. (Starts H=8" AFF)
W02	1 1/2"x4" Metal Stud with 3/4" Wood-Plastic Composite Panel.
W03	New Painting on Existing Wall.

## ACOUSTICS PANEL

A01	1 1/2" Acoustic Panel
-----	-----------------------

## EQUIPMENT

E01	BASKETBALL HOOP	SPALDING	WALL SUSPENDED
E02	DIVIDER CURTAIN	DRAPER	TOP ROLL DIVIDER, BOTTOM OF THE CURTAIN SHALL BE OPEQUE
E03	STAGE	SHERIDAN	RETRACTABLE STAGE
E04	ACOUSTICAL WALL PANEL	AUDIMUTE	2'x4' COLORED ACOUSTICAL PANEL
E05	WALL PADDING	SPALDING	WALL SAFETY GUARD
E06	COLUMN PADDING	SPALDING	COLUMN SAFETY GUARD
E07	MIRROR		4'x8' POLISHED STAINLESS STEEL MIRROR ANCHORED TO EXISTING WALL

## FLOOR

F01	REFINISH EXISTING FLOOR, NEW STAIN.
F02	NEW STRIPING PER STANDARD.

### EQUIPMENT LIST AND NEW WORK NOTES:

#### GENERAL:

- PRIOR TO DEVELOPING SHOP DRAWINGS, REVIEW DRAWINGS, SITE CONDITIONS AND DIMENSIONS FOR EACH EQUIPMENT TO ASSURE WHAT IS SPECIFIED AND INDICATED ON THE DRAWINGS THAT WILL FIT IN THE SPACE AVAILABLE FOR IT, IN CASE OF ANY ISSUE, CONTACT THE ARCHITECT IMMEDIATELY TO OBTAIN CLARITY AND SOLUTION.

#### BASKETBALL HOOP (E01):

- BASKETBALL HOOP SHALL BE WALL-BRACED FOLD UP BACKSTOP AS MANUFACTURED BY SPALDING EQUIPMENT COMPANY OR EQUAL APPROVED BY THE ARCHITECT.
- FIELD VERIFY STRUCTURAL SUPPORTS AND LENGTH FROM WALL REQUIRED FOR EACH BACKBOARD AND HOOP FRAMING.
- SUBMIT SHOP DRAWINGS WITH DIMENSIONS AND DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL.

#### DIVIDER CURTAIN (E02):

- DIVIDER CURTAIN SHALL BE ROLL-UP TYPE, VINYL CURTAIN 60" WIDE AND 20' HIGH AS MANUFACTURED BY DRAPER INC. LOWER PORTION SOLID VINYL COATED POLYESTER, UPPER PORTION SHALL BE VINYL COATED POLYESTER MESH OR EQUAL APPROVED BY THE ARCHITECT.
- FIELD VERIFY STRUCTURAL SUPPORTS AND HEIGHT OF THE CURTAIN
- SUBMIT SHOP DRAWINGS WITH DIMENSIONS AND DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL.

#### RETRACTABLE STAGE (E03):

- RETRACTABLE STAGE SHALL BE 18'x10' IN SIZE RS-2 RECESSED TYPE AS MANUFACTURED BY SHERIDAN SEATING INC OR EQUAL APPROVED BY THE ARCHITECT.
- FIELD VERIFY CONDITIONS FOR INSTALLATION AND OPERATION.
- STAGE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND FINAL SHOP DRAWINGS. TOP OF THE STAGE SHALL BE CARPET TILE FINISH.
- OPERATION SHALL BE ELECTRICALLY POWERED WINCHING MECHANISM FOR RETRACTING INTO WALL. POWER OUTLET AND SWITCH LOCATION MUST BE AT THE MANUFACTURER'S RECOMMENDED LOCATIONS
- STAGE SURFACE SHALL BE CARPETING, COLOR AS SELECTED BY THE ARCHITECT. SKIRTING SHALL BE FABRIC SKIRT BOARD.
- SUBMIT MANUFACTURER'S SHOP DRAWINGS WITH DIMENSIONS AND DETAILS OF INSTALLATION FOR ARCHITECT'S REVIEW AND APPROVAL.

#### ACOUSTICAL WALL PANELS (E04):

- ACOUSTICAL WALL PANELS SHALL BE AS MANUFACTURED BY AUDIMUTE INC. OR EQUAL APPROVED BY THE ARCHITECT.
- FIELD VERIFY CONDITIONS FOR INSTALLATION.
- SUBMIT SHOP DRAWINGS WITH DIMENSIONS AND DETAILS OF INSTALLATION FOR ARCHITECT'S REVIEW AND APPROVAL.

#### WALL AND COLUMN PADDINGS (E05 & E06):

- WALL AND COLUMN PADDINGS SHALL BE AS MANUFACTURED BY SPALDING EQUIPMENT CO. OR EQUAL APPROVED BY THE ARCHITECT.
- SUBMIT SHOP DRAWINGS WITH DIMENSIONS AND DETAILS OF INSTALLATION FOR ARCHITECT'S REVIEW AND APPROVAL.

#### MIRROR (E07):

- MIRROR SHALL BE AS MANUFACTURED BY SPALDING EQUIPMENT CO. OR EQUAL APPROVED BY THE ARCHITECT.
- MIRROR SHALL BE 4'x8' FRAMELESS ROUNDED EDGE POLISHED STAINLESS STEEL MIRROR.
- INSTALL ON THE MASONRY WALL AT LOCATION INDICATED ON THE DRAWINGS OR SPECIFIED.

#### GYM FLOOR RE-FINISHING (F01 & F02):

- GYM FLOOR RE-FINISHING AND LINE MARKING MATERIALS SHALL BE AS MANUFACTURED BY SIKA CORPORATION SPORT FLOOR 350 FINISH OR EQUAL APPROVED BY THE ARCHITECT.
- SUBMIT MANUFACTURER'S PRODUCT DATA SHEETS, MATERIAL SAFETY DATA SHEETS, AND RECOMMENDED INSTALLATION INSTRUCTIONS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO PURCHASING MATERIALS.
- PREPARE SURFACE IN ACCORDANCE TO FINISH MANUFACTURER'S DIRECTIONS AND APPLY FLOOR FINISH IN ACCORDANCE TO FINISH MANUFACTURER'S DIRECTION.
- PROTECT ALL VERTICAL SURFACES AND SEAL OFF ALL VENTILATION SYSTEM TO PREVENT AIRBORNE CONTAMINATES
- FOLLOW MANUFACTURER'S RECOMMENDATIONS ON URETHANE COAT SEALER AND CURING.
- PAINT NEW GAME LINES AS INDICATED ON THE DRAWINGS.
- ON COMPLETION, CLEAN UP ALL AREAS AND SURFACES OF DUST, DIRT AND RUBBISH.

#### WALL SAFETY PAD:

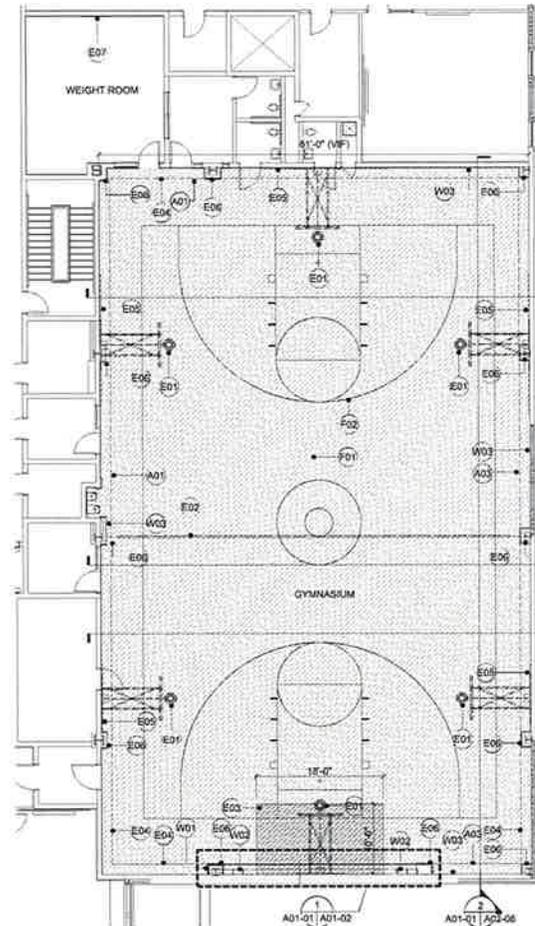
- PROVIDE WALL SAFETY PAD AT ALL EXISTING BUMPOUTS COLUMN PROJECTIONS
- PROVIDE 15" WIDE SAFETY PAD AT THE CENTER OF ALL BASKETBALL HOOP AT ALL WALLS
- PROVIDE SAFETY PAD AT BACK OF RETRACTABLE STAGE WHILE STANDING UP. PAD MUST BE REMOVABLE ONLY AT THE STAGE

#### GYMNASIUM FLOOR BASE:

- PROVIDE 4" VINYL BASE AT WALLS IN THE GYMNASIUM

#### PODS:

- SEE DRAWINGS A04-01 FOR FLOOR FINISH AND PATTERNS.
- PROVIDE NEW 4" HIGH VINYL BASE.



GYMNASIUM  
FLOOR PLAN  
SCALE: 1/8"=1'-0"

1  
A01-01



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SUBMISSION SCHEDULE DATE

NO DESCRIPTION

REVISION SCHEDULE DATE

NO DESCRIPTION

PROJECT:

DYRS GYMNASIUM  
RENOVATION

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:

GYMNASIUM  
FLOOR PLAN

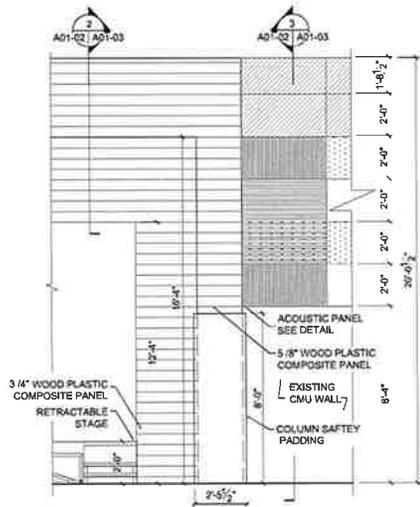
PROJECT NO: 1310

OCTOBER 12, 2015

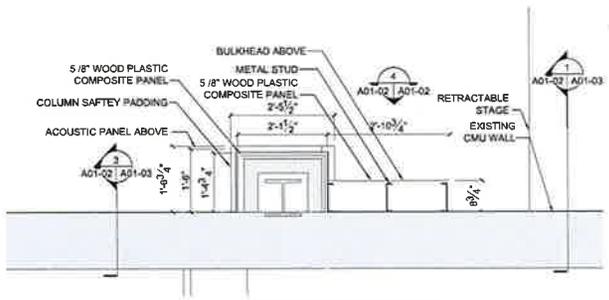
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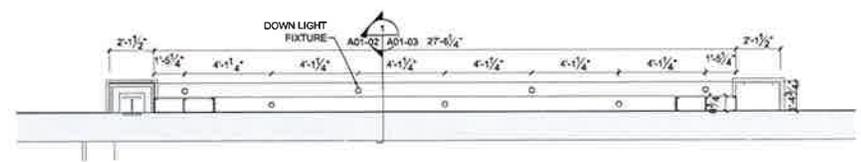
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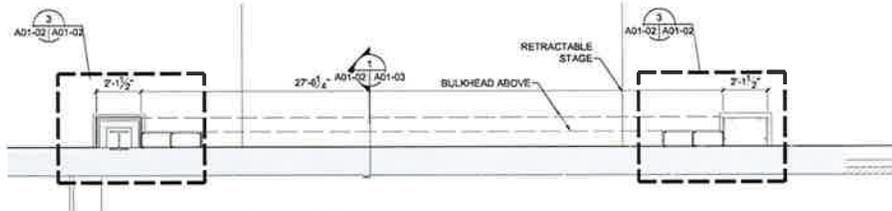
ELEVATION  
SCALE: 1/2"=1'-0"  
A01-01 A01-02



GYMNASIUM ENLARGED FLOOR PLAN  
SCALE: 3/4"=1'-0"  
A01-01 A01-02



ENLARGED REFLECTED CEILING PLAN  
SCALE: 3/8"=1'-0"  
A01-01 A01-02



ENLARGED STAGE PLAN  
SCALE: 3/8"=1'-0"  
A01-01 A01-02

NOTE :  
01 ALL WOOD PLASTIC COMPOSITE PANEL SHALL BE ATTACHED TO STUD WITH SCREWS.  
02 VERIFY WITH POLYSONICS ON PANELS AND ATTACHMENT DETAIL.

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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	
REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

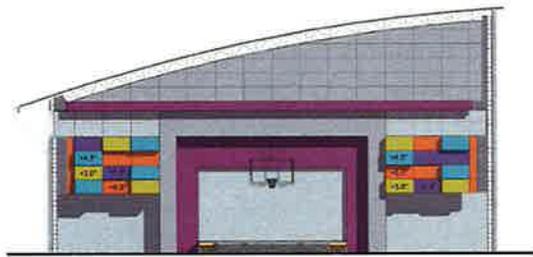
SHEET TITLE:  
**GYMNASIUM ENLARGED PLANS & ELEVATION**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

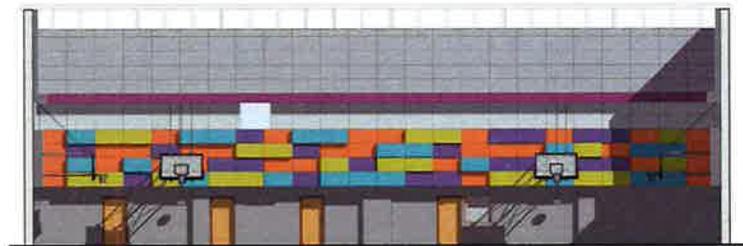


**NOTE:**

- 01 ALL — 4.5" (INDICATIVE) PROJECTED TILES SHALL HAVE STRIP LIGHTING ABOVE THE TILE. SEE DWG 3/A01-03, A02-02 TO A02-05
- 02 SEE STRUCTURAL DRAWINGS FOR SPACE DIVIDER CURTAIN FRAMING FOR SUPPORTS. ADD STRUCTURAL FRAMING FOR HOOPS.
- 03 SEE ELECTRICAL DRAWINGS FOR ELECTRICAL WORK.



COLOR SCHEME  
WEST ELEVATION  
SCALE: 1/8"=1'-0"



COLOR SCHEME  
NORTH ELEVATION  
SCALE: 1/8"=1'-0"



COLOR SCHEME  
EAST ELEVATION  
SCALE: 1/8"=1'-0"



COLOR SCHEME  
SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



  
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SUBMISSION SCHEDULE	DATE
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REVISION SCHEDULE	DATE
NO. DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM  
 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**COLOR SCHEME  
 ELEVATIONS**

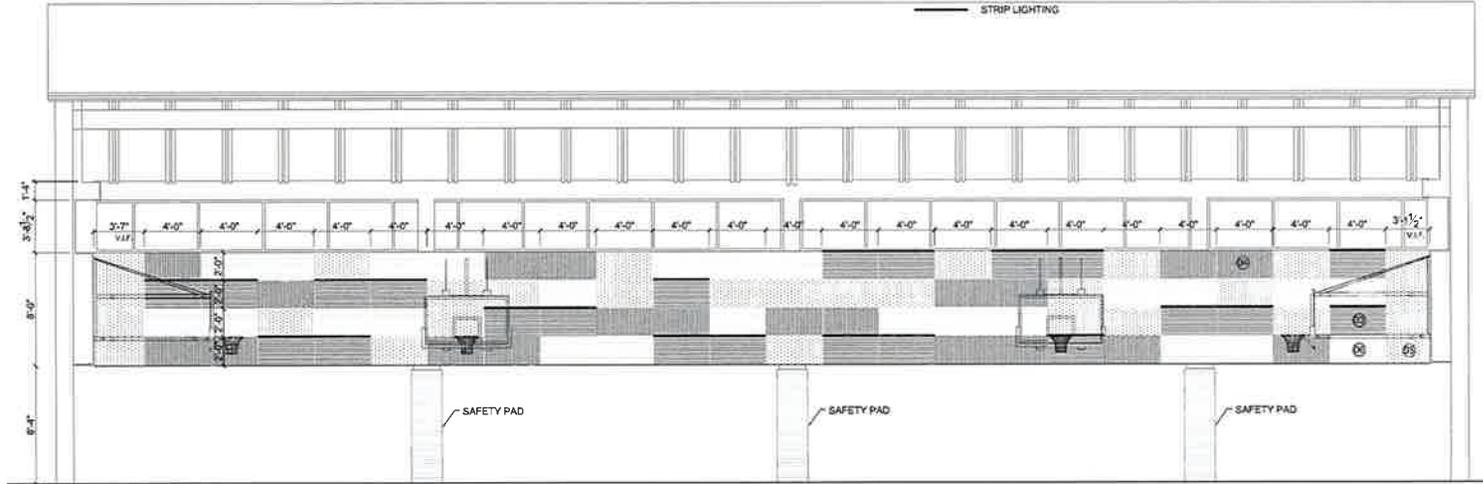
PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**A02-01**

**LEGEND**

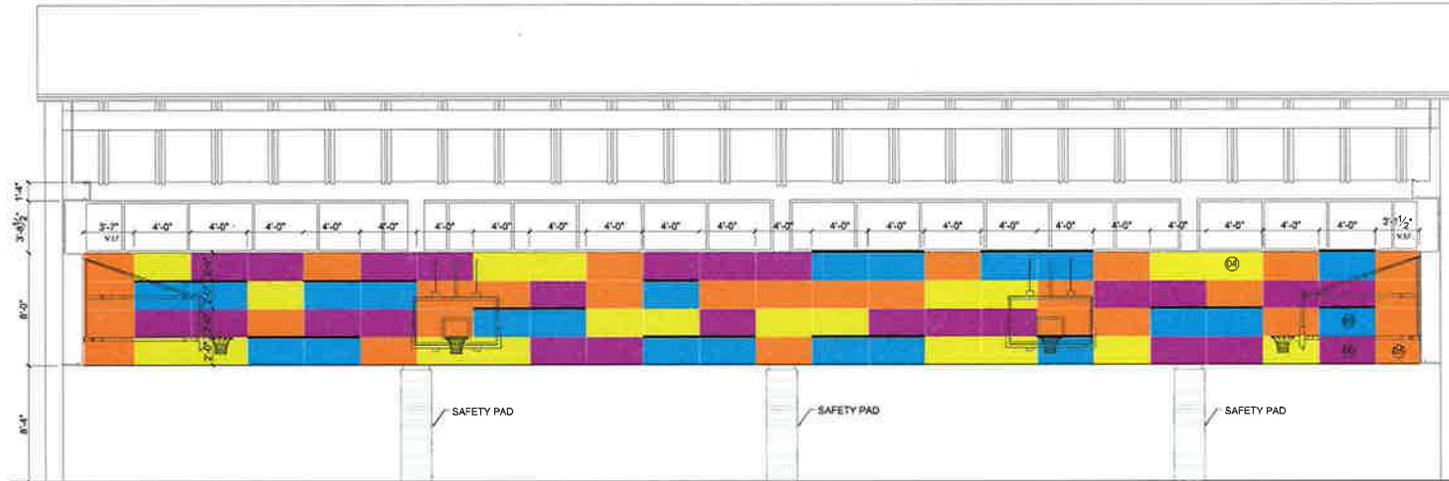
		01 TILE GREY			05 TILE ORANGE (1 1/2")		06 TILE PURPLE (3")
		02 TILE GREY DARK			07 WALL PAINT GREY		08 WALL PAINT PURPLE
		03 TILE BLUE (6")					
		04 TILE YELLOW (4 1/2")					

— STRIP LIGHTING



GHAPICS SCHEME  
SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

2  
A02-02 | A02-02



COLOR SCHEME  
SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

1  
A02-02 | A02-02



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PROJECT:  
**DYRS GYMNASIUM  
RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

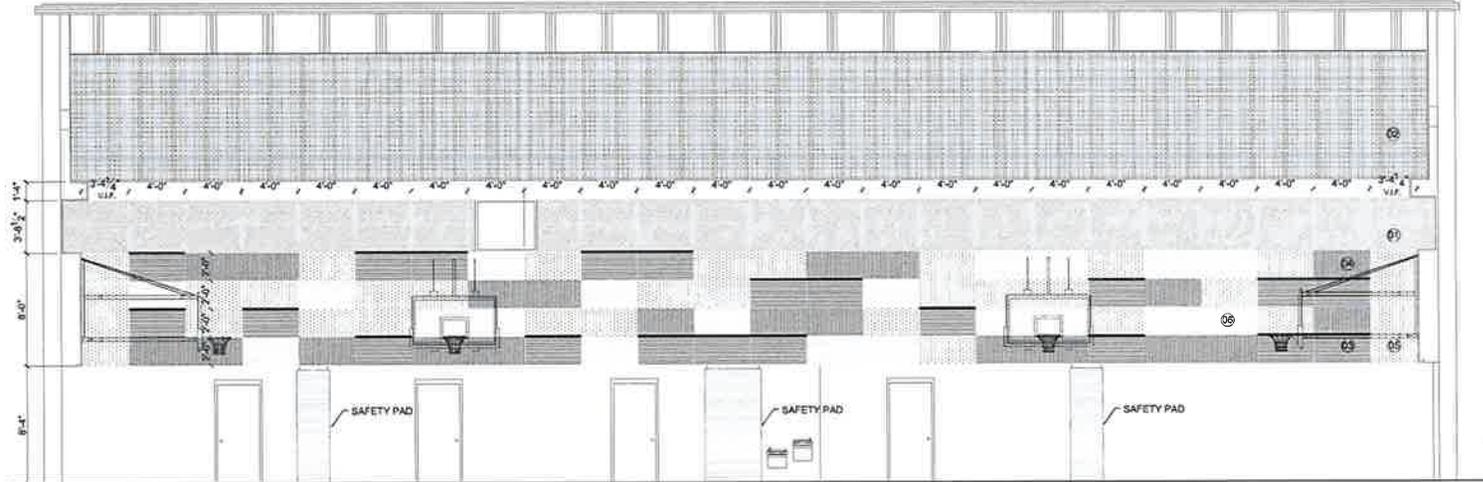
SHEET TITLE:  
**COLOR & GRAPHICS SCHEME  
ELEVATIONS**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

**A02-02**

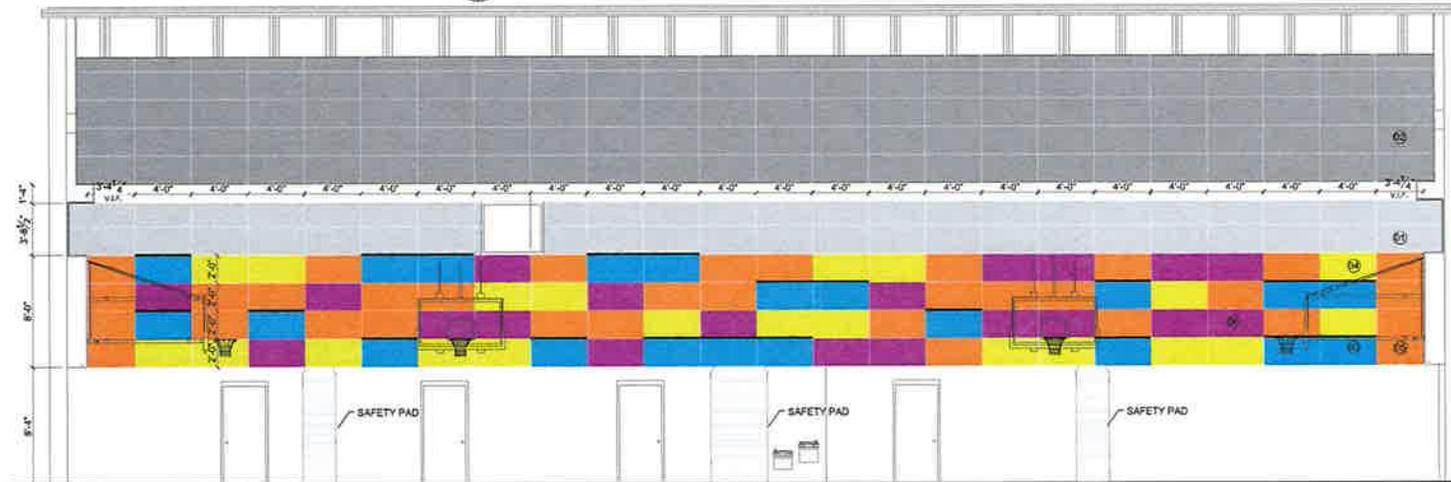
**LEGEND**

	01 TILE GREY		05 TILE ORANGE (1 1/2")
	02 TILE GREY DARK		06 TILE PURPLE (3")
	03 TILE BLUE (6")		07 WALL PAINT GREY
	04 TILE YELLOW (4 1/2")		08 WALL PAINT PURPLE
	STRIP LIGHTING		



GRAPHICS SCHEME  
NORTH ELEVATION  
SCALE: 1/4"=1'-0"

2  
A02-03 | A02-03



COLOR SCHEME  
NORTH ELEVATION  
SCALE: 1/4"=1'-0"

1  
A02-03 | A02-03

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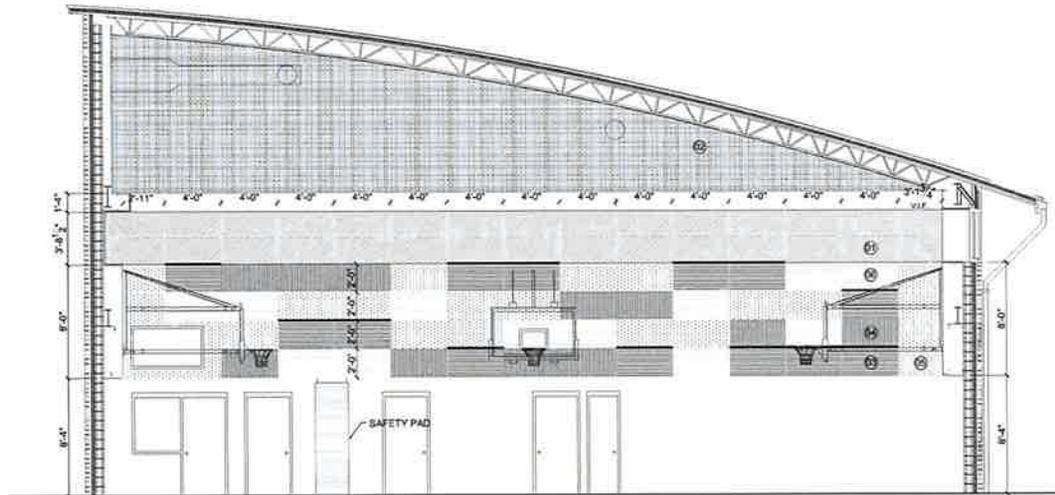
PROJECT:  
**DYRS GYMNASIUM  
 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**COLOR & GRAPHICS SCHEME  
 ELEVATIONS**

PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

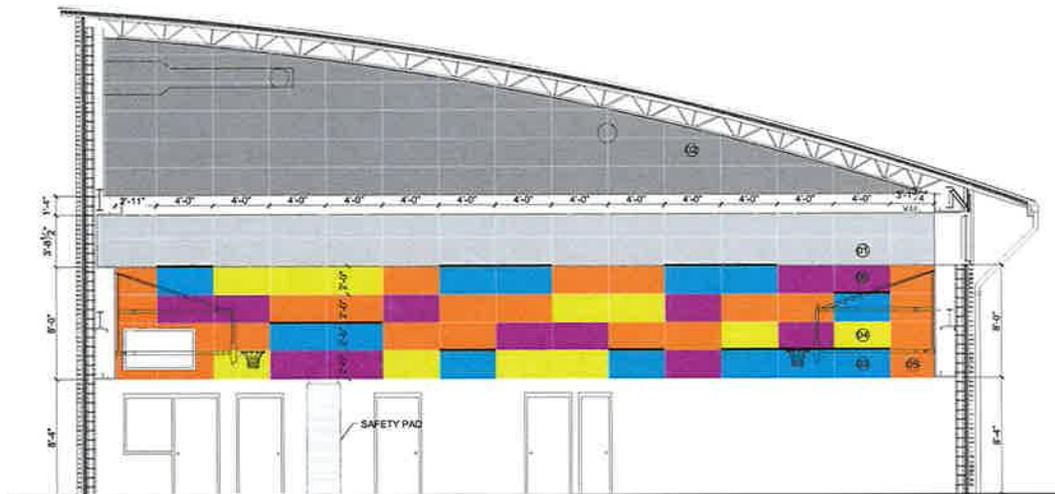
**A02-03**



GHAPHICS SCHEME  
EAST ELEVATION

SCALE: 1/4"=1'-0"

A02-04 | A02-04



COLOR SCHEME  
EAST ELEVATION

SCALE: 1/4"=1'-0"

A02-04 | A02-04

LEGEND

- 01 TILE GREY
- 02 TILE GREY DARK
- 03 TILE BLUE (6"\*)
- 04 TILE YELLOW (4 1/2"\*)
- 05 TILE ORANGE (1 1/2"\*)
- 06 TILE PURPLE (3"\*)
- 07 WALL PAINT GREY
- 08 WALL PAINT PURPLE

— STRIP LIGHTING

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 NORTH BETHESDA, MD 20852-1905  
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CIVIL ENGINEER  
**AMT**  
 10 C STREET, NE, SUITE # 450  
 WASHINGTON, DC 20002  
 T: (202) 288-5415 F: (202) 288-5251  
 ACUSTICAL CONSULTANT  
**POLYSONICS**  
 405 BELLE AIR LANE  
 WARRENTON, VA 20186  
 T: (240) 341-4888 F: (541) 341-0909

SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

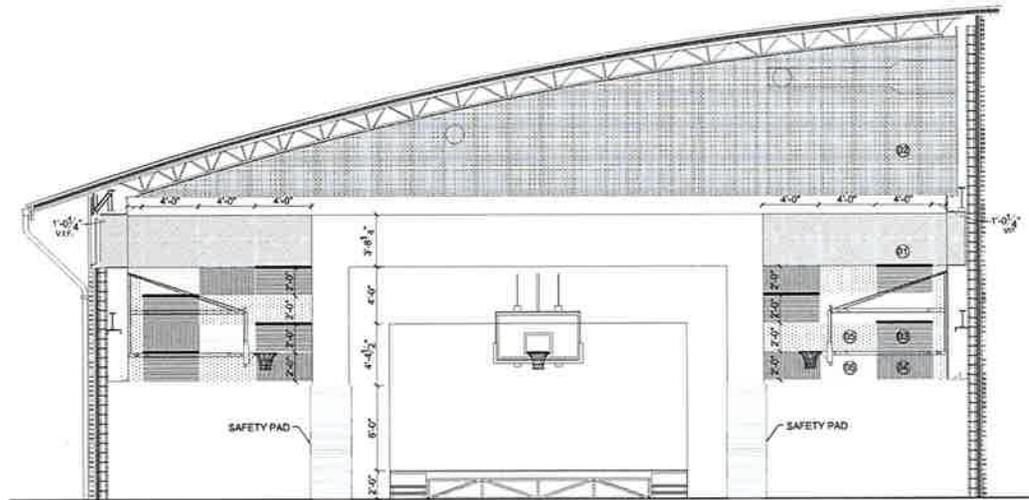
PROJECT:  
**DYRS GYMNASIUM  
 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**COLOR & GRAPHICS SCHEME  
 ELEVATIONS**

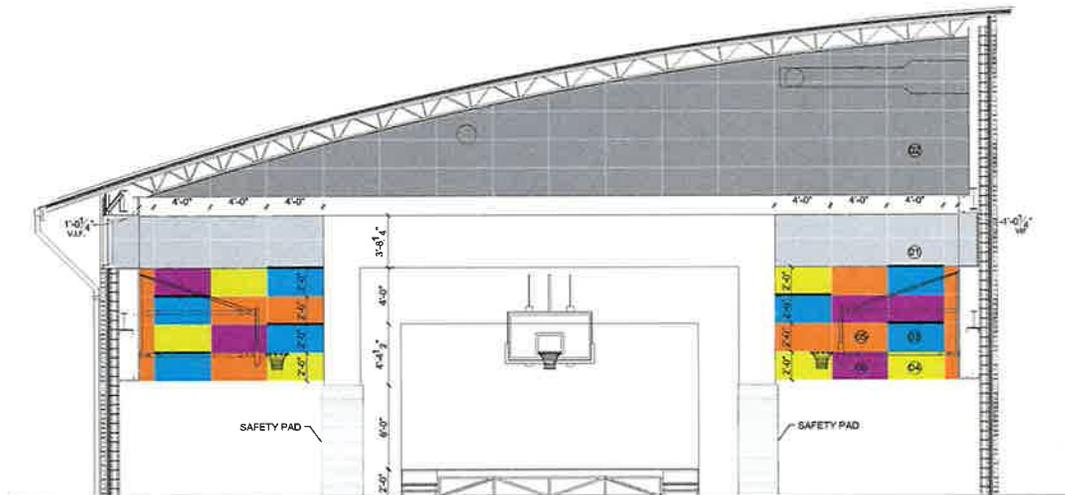
PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

A02-04



GRAPHICS SCHEME  
WEST ELEVATION  
SCALE: 1/4"=1'-0"

2  
A02-05 | A02-05



COLOR SCHEME  
WEST ELEVATION  
SCALE: 1/4"=1'-0"

1  
A02-05 | A02-05

LEGEND

	01 TILE GREY
	02 TILE GREY DARK
	03 TILE BLUE (6"+)
	04 TILE YELLOW (4 1/2"+)
	05 TILE ORANGE (1 1/2"+)
	06 TILE PURPLE (3"+)
	07 WALL PAINT GREY
	STRIP LIGHTING

OWNER  
  
**DGS**  
 DEPARTMENT OF GENERAL SERVICES  
 1250 U STREET, NW  
 WASHINGTON, DC 20002

ARCHITECT  
  
**LANCE BAILEY & ASSOCIATES**  
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**MGV**  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM  
 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**COLOR & GRAPHICS SCHEME  
 ELEVATIONS**

PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

A02-05



**LEGEND**

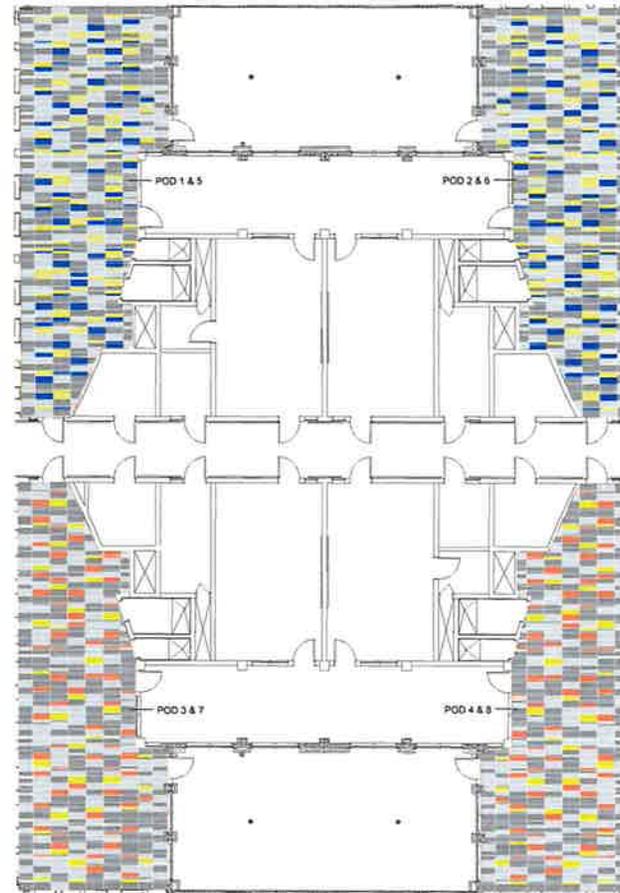
- 01 TILE GREY
- 02 TILE GREY DARK
- 03 TILE GREEN
- 05 TILE ORANGE
- 04 TILE BLUE
- 05 TILE YELLOW

**FLOOR FINISH**

F01 FASOLPLUS - VINYL TILE RESIDENCE POD FLOOR FINISH

**NOTE:**

THE DRAWING REPRESENTS THE FLOOR PATTERN. CONTRACTOR IS REQUIRED TO USE THE CAD DRAWINGS TO DEVELOP THE SHOP DRAWINGS WITH PATTERN AND DIMENSIONS.



FLOOR PLAN AT RESIDENCE POD  
SCALE: 1/8"=1'-0"  
A04-01 A04-01

OWNER  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

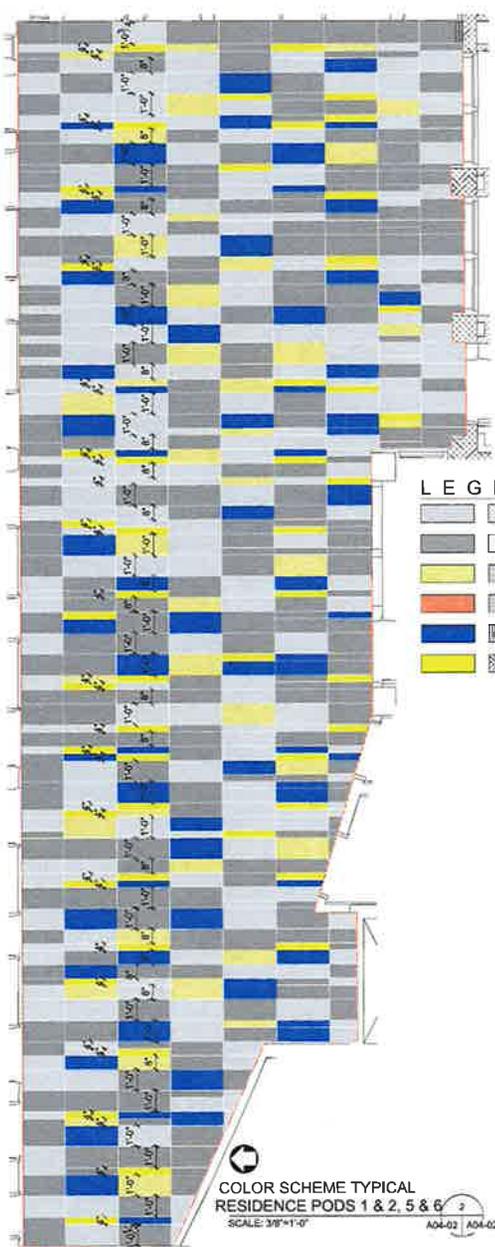
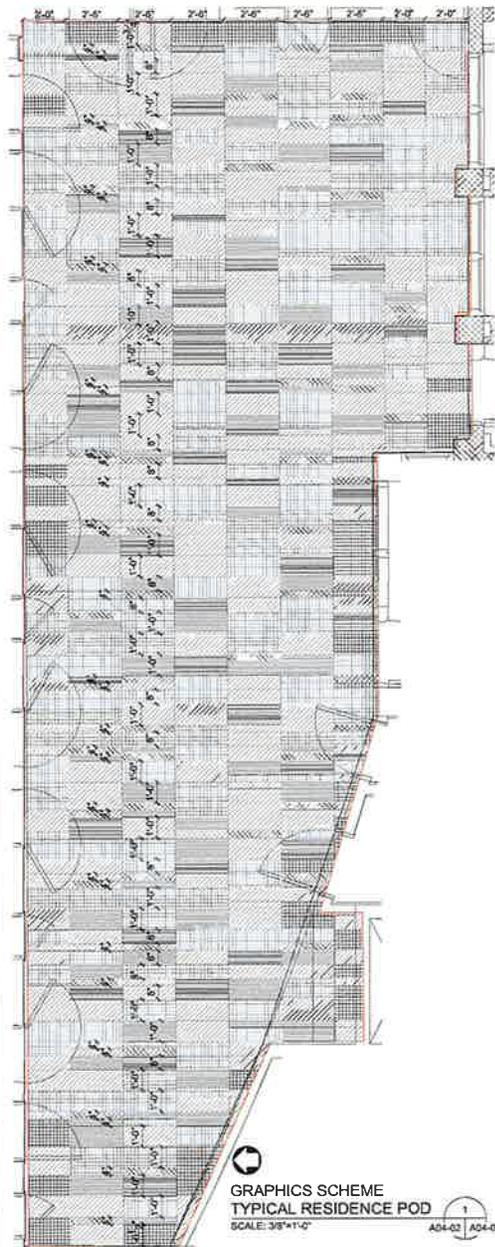
PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**FLOOR PATTERN & COLOR SCHEMES PODS 1,2,3 & 4**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

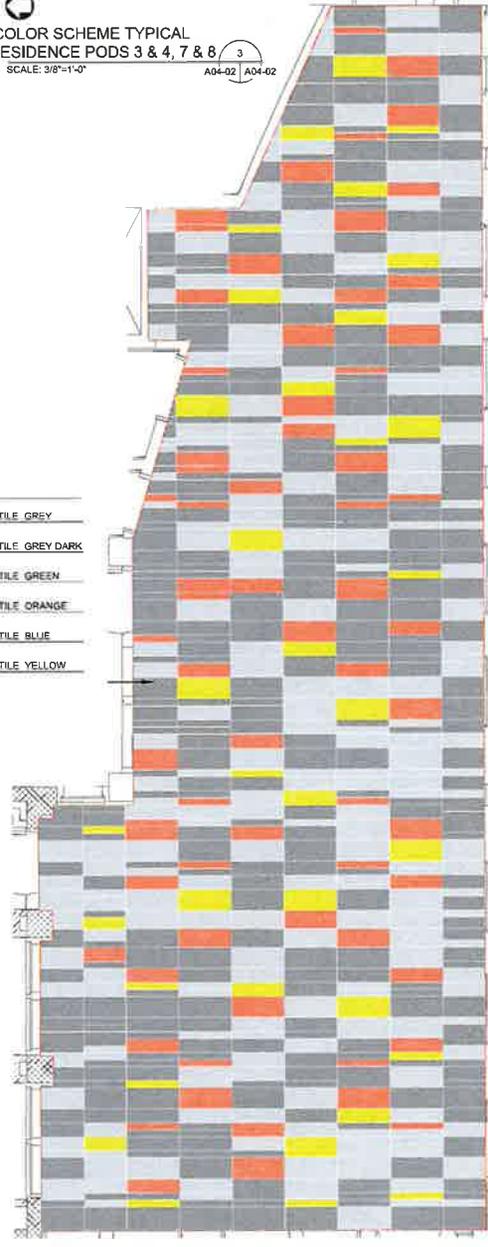
**A04-01**



**COLOR SCHEME TYPICAL RESIDENCE PODS 3 & 4, 7 & 8**  
 SCALE: 3/8"=1'-0"  
 A04-02 A04-02

**LEGEND**

	01 TILE GREY
	02 TILE GREY DARK
	03 TILE GREEN
	03 TILE ORANGE
	04 TILE BLUE
	05 TILE YELLOW



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 425 BELLE AIR LANE  
 WARRENTON, VA 20186  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

**PROJECT:**  
**DYRS GYMNASIUM RENOVATION**

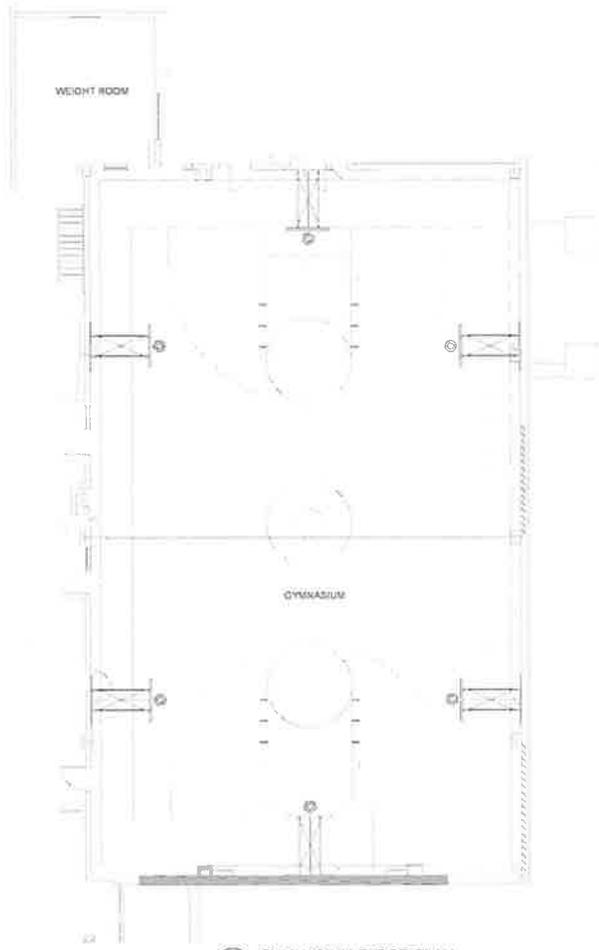
1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

**SHEET TITLE:**  
**FLOOR PATTERN COLOR & GRAPHICS SCHEMES FOR PODS**

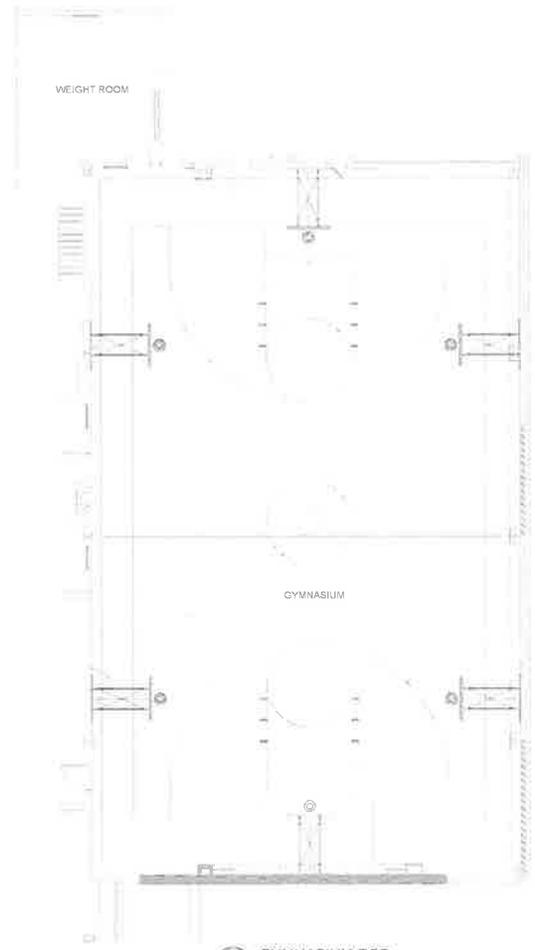
PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**A04-02**

GENERAL NOTE:  
 1. SEE ARCHITECTURAL DRAWINGS FOR ACUSTIC PANEL LOCATIONS AND LAYOUT.  
 2. SEE A001 FOR ACOUSTICAL PANEL MOUNTING DETAIL.



1 GYMNASIUM FLOOR PLAN  
 AX101 SCALE: 1/8" = 1'-0"



2 GYMNASIUM RCP  
 AX101 SCALE: 1/8" = 1'-0"



DEPARTMENT OF GENERAL SERVICES  
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SUBMISSION SCHEDULE	DATE
50% DESIGN DEVELOPMENT	07/28/15
CONSTRUCTION DOCUMENTS	08/14/15

REVISION SCHEDULE	DATE
NO DESCRIPTION	

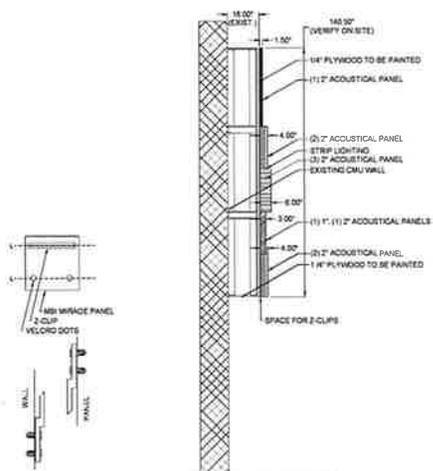
PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**GYMNASIUM FLOOR PLAN % RCP**

PROJECT NO: 1310  
 AUGUST 14, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**AX101**



1 ACUSTICAL WALL PANELS INSTALATION DETAIL  
 AX501 SCALE: NTS




 DISTRICT OF COLUMBIA  
 DEPARTMENT OF GENERAL SERVICES  
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SUBMISSION SCHEDULE	DATE
50% DESIGN DEVELOPMENT	07/28/15
CONSTRUCTION DOCUMENTS	08/14/15

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM  
 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**DETAILS**

PROJECT NO: 1310  
 AUGUST 14, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**AX501**

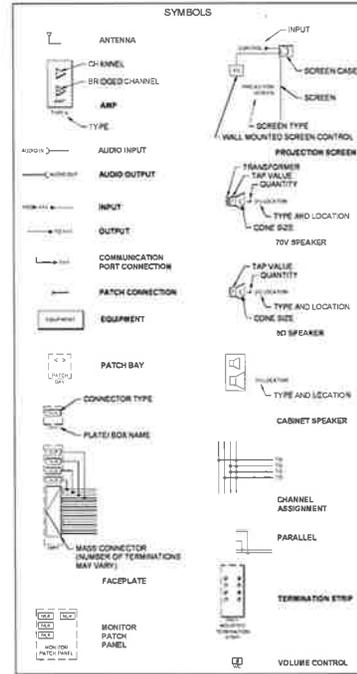




SHEET INDEX

SHEET NUMBER	SHEET NAME
TA000	COVER
TA001	NOTES
TA002	NOTES
TA101	GYMNASIUM FLOOR PLAN & RCP
TA501	DETAILS

LINE DIAGRAM LEGENDS



**CONNECTION TYPES**

SYMBOL	CONNECTOR
1/A	16-PIN
2/A	8-BAY 160 MALE FRONT
DNC	RAYNET NELL CONCELAN
DNK	DEUTSCHES INSTITUT FÜR SORUNG
DP	DISPLAY PORT
DWD	DVI-DIGITAL DUAL LINK
DWI	DVI-INTTEGRATED DUAL LINK
F	ODAX F
HDS1	USB 15-PIN
HD9	USB 9-PIN
HDM	HDMI
LC	FIBER OPTIC LC
LET	LIGHTNING
MASS	MASS CONNECTOR
MLR	MINI 4-16 MALE
NLE	NEUTRAL NLE
NLA	NEUTRAL NLE
PHX	PHONES
PCH	PHONO
RIS	RISCH CONNECTOR
RAS	CATEGORY CABLE
SC	FIBER OPTIC SC
SHD	SHIELDED BIAS
ST	FIBER OPTIC ST
SVD	5-VDDIO MINI DIN
USBA	UNIVERSAL SERIAL BUS - TYPE A
USBB	UNIVERSAL SERIAL BUS - TYPE B
USBM	UNIVERSAL SERIAL BUS - TYPE B MINI
XLK	XLK FEMALE
XLH	XLK 4-PIN FEMALE
XLK	XLK 3-PIN FEMALE
XLK	XLK MALE

ABBREVIATIONS

AAC	ABOVE ACCESSIBLE CEILING	TC	TELECOMMUNICATIONS CONTRACTOR
APF	ABOVE FINISHED FLOOR	TGB	TELECOMMUNICATIONS GROUNDING BUS BAR
AVC	AUDIOVISUAL CONTRACTOR	TMCB	TELECOMMUNICATIONS MAIN GROUNDING BUS BAR
AVCT	AUDIOVISUAL CABLE TRAY	UDN	UNLESS OTHERWISE NOTED
AVR	AUDIO-VIDEO RACK		
CA-TV	CABLE TELEVISION		
CT	CABLE TRAY		
EC	ELECTRICAL CONTRACTOR		
EQ	EQUIPMENT		
GC	GENERAL CONTRACTOR		
IDF	INTERMEDIATE DATA FRAME		
JBx	JUNCTION BOX "X"		
MDP	MAIN DATA FRAME		
MER	MAIN EQUIPMENT ROOM		
MTD	MOUNTED		
PSRH	PROJECT STANDARD RECEIPTABLE HEIGHT		
PSBH	PROJECT STANDARD SWITCH HEIGHT		
PTZ	PANEL TILT ZOOM		
RCP	REFLECTED CEILING PLAN		
SEC	STAGE EQUIPMENT CONTRACTOR		
STC	STUB TO CABLE TRAY		
STD	STANDARD		



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BLUESHIRT INC. 2014 44th  
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 T 202-462-2000 F 202-462-2001

SUBMISSION SCHEDULE DATE  
 50% DESIGN DEVELOPMENT 07/28/15  
 CONSTRUCTION DOCUMENTS 08/14/15

REVISION SCHEDULE DATE  
 NO DESCRIPTION

PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**NOTES**

PROJECT NO: 1310  
 AUGUST 14, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**TA001**



DEVICE SCHEDULE

DEVICE NAME	DESCRIPTION	NO.	POWER	PROVIDE	BOX SIZE	HEIGHT	Comments
REF: SEE ARCHITECTURAL DRAWINGS	SEE ARCHITECTURAL DRAWINGS						
REF: SEE ARCHITECTURAL DRAWINGS	SEE ARCHITECTURAL DRAWINGS						

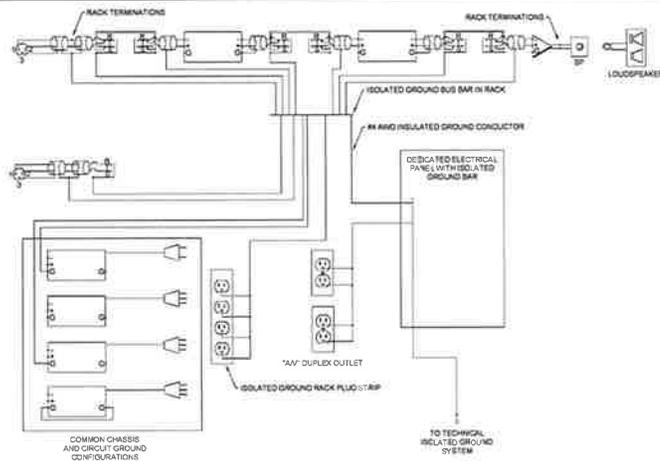
GENERAL PROJECT NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL AV DEVICES.
- DEVICE ICONS ARE NOT SCALED. DEVICE WILL BE CENTERED WHERE THE SYMBOL IS LOCATED AT EACH FLOOR, CEILING AND WALL LOCATION.
- ALL AV PLATES PROVIDED AND INSTALLED BY AV CONTRACTOR UNLESS OTHERWISE NOTED.

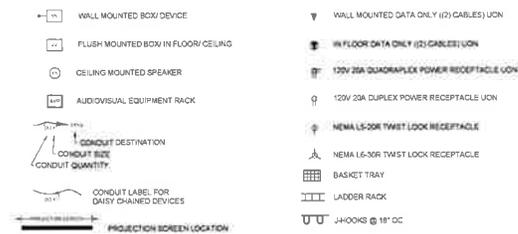
AV CONDUIT AND BACK BOX REQUIREMENTS

- AV DRAWINGS DO NOT INCLUDE CONDUIT FOR ELECTRICAL OR TELECOM REQUIREMENTS.
- CONDUIT ARROWS ON DRAWINGS DO NOT SHOW DIRECTION OR PATH OF CONDUIT.
- ALL JUNCTION BOXES, BACK BOXES AND CONDUIT SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED.
- INSTALL ALL CONDUIT WITH PULL STRING. ANY CONDUIT NOT USED DURING PROJECT SHALL HAVE PULL STRING REMAIN IN PLACE FOR FUTURE USE.
- ALL FUTURE BOXES ASSUME DOUBLE DEEP UNLESS OTHERWISE NOTED.
- ALL AV CONDUIT IS 3/4" UNLESS OTHERWISE NOTED.
- AV CONTRACTOR TO PROVIDE BLANK COVER PLATES FOR ALL WALL/FLOOR BOXES THAT ARE NOT UTILIZED.
- INSTALL RACEWAY AND OUTLET BOX SYSTEM CONTIGUOUS FROM OUTLET TO JUNCTION BOX AND TO EQUIPMENT LOCATION WITH NO MORE THAN FOUR (4) QUARTER BENDS (90 DEGREE TOTAL).
- PULL BOXES SHALL BE PROVIDED EVERY 100 FEET OF CONTIGUOUS CONDUIT RUN.
- PULL BOXES SHALL NOT BE USED IN LIEU OF CONDUIT BENDS. PULL BOXES ARE FOR STRAIGHT THROUGH CABLE ROUTING ONLY.
- INSTALL RACEWAY FROM OUTLET BOXES TO CABLE LADDERS IN CORRIDORS AS INDICATED WHERE REQUIRED.
- INSTALL RACEWAY FROM OUTLET BOXES TO ACCESSIBLE CEILING SPACES WHERE REQUIRED.
- ALL JOCKS REQUIRED TO SUPPORT AV CABLE TO BE INSTALLED BY GC.
- BUSH AND SEAL ALL CONDUIT ENDS. TERMINATE WITH INSULATED BUSHING IF CONDUIT END IS EXPOSED.
- CLAMP CONDUIT TO TRAY/LADDER FOR PROPER SUPPORT WHERE REQUIRED.
- ALL DEDICATED AV CABLE TRAY FOR AV RACKS SHALL BE PROVIDED AND INSTALLED BY AV CONTRACTOR UNLESS OTHERWISE NOTED.
- WHERE CABLE TRAY/LADDER IS NOT UTILIZED MAKE CONTIGUOUS RUNS FROM BOX TO BOX WITH ISOLATION FROM BUILDING SYSTEMS AS REQUIRED.
- PROVIDE SLEEVES AND APPROPRIATE WALL PENETRATIONS AS NEEDED FOR CABLE PATHWAYS FROM OUTLET AND JUNCTION BOX LOCATIONS TO CORRIDOR CABLE TRAY AND/OR JOCKS. MINIMUM SLEEVE SIZE FOR TYPICAL SPACES SHALL BE 2" EMT. FIRESTOP PER CODES AND FIREWALL RATINGS.

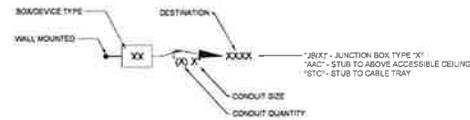
TECHNICAL GROUNDING DETAILS



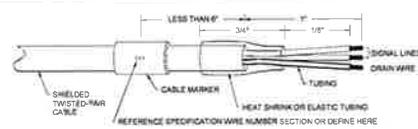
AV INFRASTRUCTURE DEVICE LEGEND



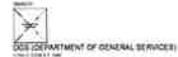
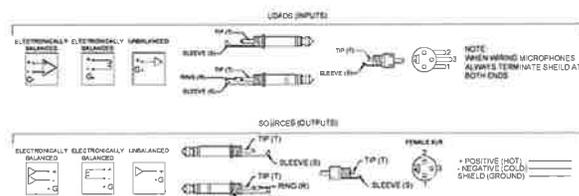
AV INFRASTRUCTURE DETAILS



WIRE LABELING DETAIL



AUDIO PIN WIRING DETAIL



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DATE: 07/28/15

50% DESIGN DEVELOPMENT

CONSTRUCTION DOCUMENTS

DATE: 08/14/15

REVISION SCHEDULE

NO DESCRIPTION

DATE

PROJECT: DYRS GYMNASIUM RENOVATION

1000 MOUNT OLIVET ROAD, NE WASHINGTON, DC 20002

SHEET TITLE: NOTES

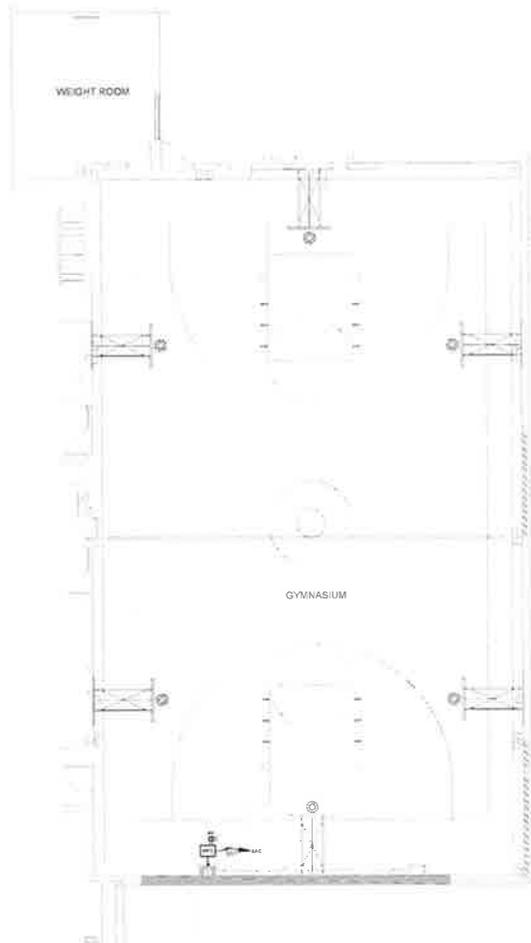
PROJECT NO: 1310

AUGUST 14, 2015

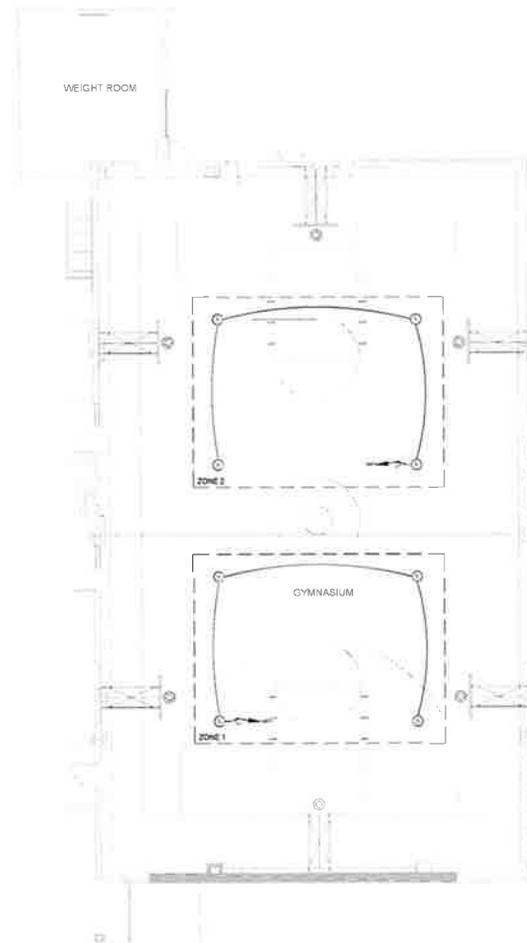
SCALE: AS NOTED

SHEET NO:

TA002



1 GYMNASIUM FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 GYMNASIUM RCP  
SCALE: 1/8" = 1'-0"

DEPARTMENT OF GENERAL SERVICES  
ARCHITECT

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SUBMISSION SCHEDULE	DATE
50% DESIGN DEVELOPMENT	07/28/15
CONSTRUCTION DOCUMENTS	08/14/15

REVISION SCHEDULE	DATE
NO DESCRIPTION	

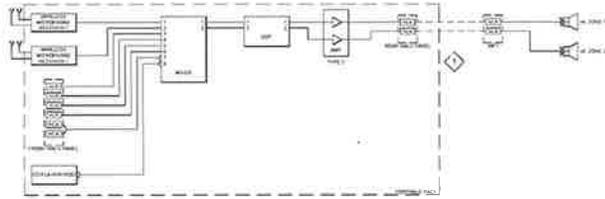
PROJECT:  
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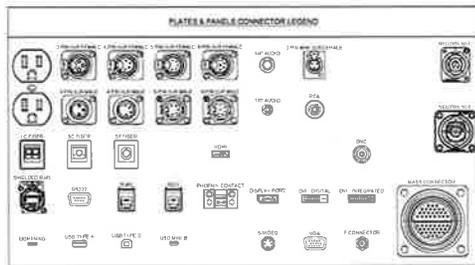
SHEET TITLE:  
**GYMNASIUM FLOOR PLAN % RCP**

PROJECT NO: 1310  
AUGUST 14, 2015  
SCALE: AS NOTED  
SHEET NO:

TA101



1 GYMNASIUM AUDIO LINE DIAGRAM  
SCALE: NTS



1001 SPEAKER INPUT WALL PLATE  
QUANTITY: 1  
SIZE: DOUBLE GANG  
FINISH: BLACK W/ WHITE LETTERING  
NOTE: -

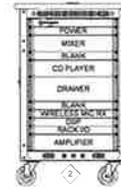


1002 FRONT RACK INPUT PANEL  
QUANTITY: 1  
SIZE: 1 RU  
FINISH: BLACK W/ WHITE LETTERING  
NOTE: -



1003 REAR RACK INPUT PANEL  
QUANTITY: 1  
SIZE: 1 RU  
FINISH: BLACK W/ WHITE LETTERING  
NOTE: -

3 PLATES AND PANEL DETAILS  
SCALE: NTS



GYMNASIUM PORTABLE RACK  
TOTAL AMPS: 3  
TOTAL WATTS: 229  
TOTAL I/O: 776  
CIRCUITS: (1) 50A 120V

2 GYMNASIUM PORTABLE RACK ELEVATION  
SCALE: NTS

KEY NOTE  
1 CONNECTIONS BETWEEN RACK AND WALL PLATE IS PRESENT  
ONLY WHEN IN USE  
2 PORTABLE RACK IS GA-TOR G-SHOOK-16L

Item Description	Make and Model	Qty
<b>Input Sources</b>		
Playback Sources		
COMMP/Play	Tascam CD-200L	1
<b>Mixers/Processors</b>		
Audio Mixer	Allen & Heath 128	1
Audio DSP	Shure OneTrack Versa360	1
<b>Wireless Microphone System</b>		
Wireless Microphone Receiver	Shure D10 12460	2
	Shure Q144 Receiver	INCL
	Shure Q142 Hand Held Transmitter	INCL
	Shure CL101 Body Pack Transmitter	INCL
	Shure SM58 Handheld Mic	INCL
	Shure WL185 Lavalier Mic	INCL
<b>Wired Mics, Stands, Accessories</b>		
Wired Microphone	Shure SM58	4
Microphone Stand	Alto MS-1002	4
<b>Amplifier/Processors</b>		
Center Subwoofer	JBL A112C 129	1
Power Amplifier	Crown DC 2-600	1
<b>Microphone/Speaker Cables</b>		
Audio Cables	Whitwell MK425	2
	Whitwell MK450	2
	Whitwell MK410	2
<b>Miscellaneous Equipment</b>		
Rear Rack Panel	PC Custom	1
Front Rack Panel	PC Custom	1
<b>Equipment Racks</b>		
Portable Rack	Gator Cases G-SHOOK-16L	1
Center Rack	Gator Cases GA-200	1
Rack Drawer	Master Atlantic TDLK	1
Power Conditioner	Suptek SMC1200*	1
Blank Panels	Madis Audio Blank Panels	148

4 GYMNASIUM EQUIPMENT LIST  
SCALE: NTS



DATE: 07/28/15  
 DGS DEPARTMENT OF GENERAL SERVICES  
 1000 MOUNT OLIVET ROAD  
 WASHINGTON, DC 20002  
 PROJECT: TA501  
 LANCE BAILEY & ASSOCIATES  
 1815 CONNOR AVENUE, NW  
 WASHINGTON, DC 20009  
 T: (202) 462-7200 F: (202) 462-1247  
 PROJECT NO: TA501  
 CONSULTING STRUCTURAL ENGINEER  
 4015 WOODBURN DRIVE  
 WASHINGTON, DC 20015  
 C: (202) 462-7200 F: (202) 462-1247  
 PROJECT NO: TA501  
 ELECTRICAL ENGINEER  
 CONSULTING ENGINEERING SOLUTIONS  
 3315 42ND STREET, NW, SUITE 410  
 WASHINGTON, DC 20015  
 T: (202) 462-7200 F: (202) 462-1247  
 PROJECT NO: TA501  
 CIVIL ENGINEER  
 CONSULTING ENGINEERING SOLUTIONS  
 3315 42ND STREET, NW, SUITE 410  
 WASHINGTON, DC 20015  
 T: (202) 462-7200 F: (202) 462-1247  
 PROJECT NO: TA501  
 ARCHITECTURAL PHOTOGRAPHY (SHEETS 1-10)  
 PHOTOGRAPHY  
 P.O. BOX 1131  
 WASHINGTON, DC 20004  
 T: (202) 462-7200 F: (202) 462-1247  
 PROJECT NO: TA501

SUBMISSION SCHEDULE DATE  
 50% DESIGN DEVELOPMENT 07/28/15  
 CONSTRUCTION DOCUMENTS 08/14/15

REVISION SCHEDULE DATE  
 NO DESCRIPTION

PROJECT:  
**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**DETAILS**

PROJECT NO: 1310  
 AUGUST 14, 2015  
 SCALE: AS NOTED  
 SHEET NO:



TA501

### ELECTRICAL LEGEND

#### GENERAL NOTES

1. THE WORK TO BE DONE SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT, TOOLS, TRANSPORTATION, SUBMITTALS AND SERVICES REQUIRED TO CONSTRUCT, INSTALL AND TO MODIFY THE ELECTRICAL SYSTEMS AS HEREIN SPECIFIED AND SHOWN ON THESE DRAWINGS FOR A COMPLETE OPERATIONAL SYSTEM. COORDINATE WORK TO BE PERFORMED OR INSTALLED BY OTHERS AFFECTING THE ELECTRICAL WORK AND PROVIDE AND INSTALL ALL NECESSARY ANCHORS, SLEEVES, HANDERS, ETC. FOR ATTACHING OR CONNECTING ELECTRICAL WORK TO RELATED WORK OF OTHER TRADES.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST ADOPTED NATIONAL ELECTRICAL CODE AND ALL OTHER LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
3. THE DRAWINGS WHICH CONSTITUTE A PART OF THIS CONTRACT INDICATE THE GENERAL ARRANGEMENT OF CIRCUITS AND LOCATIONS OF OUTLETS, SWITCHES, PANELBOARDS, CONDUIT AND OTHER WORK. ALL ITEMS NOT SPECIFICALLY MENTIONED HEREIN, WHICH ARE ACCESSORY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AT NO EXTRA COST.
4. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO EXAMINE AND TO COORDINATE WITH THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND THE DRAWINGS OF ALL OTHER TRADES IN ORDER TO BECOME FAMILIAR WITH ALL ASPECTS OF THE DESIGN AFFECTING THE ELECTRICAL WORK.
5. CONTRACTOR SHALL COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF ALL NEW ELECTRICAL DEVICES WITH ARCHITECTURAL, ELEVATIONS AND DRAWINGS PRIOR TO COMMENCEMENT OF WORK. DEVICES INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, SWITCHES, FIXTURES AND TELEPHONE OUTLETS.
6. ALL ELECTRICAL MATERIALS SHALL BE NEW EXCEPT WHERE SPECIFICALLY NOTED AS EXISTING TO BE REUSED. ALL MATERIAL SHALL BE LISTED BY THE UNDERWRITERS LABORATORIES, INC. (UL) DEFECTIVE EQUIPMENT AND/OR EQUIPMENT DAMAGED DURING INSTALLATION AND/OR TESTING SHALL BE REPLACED OR REPAIRED IN A MANNER MEETING THE APPROVAL OF THE ARCHITECT AND THE ENGINEER, WHERE APPLICABLE. ALL EQUIPMENT SHALL BE IN ACCORDANCE WITH NEMA STANDARDS.
7. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER OR OWNERS AUTHORIZED REPRESENTATIVE.
8. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
9. INSTALL A FIRE STOP OF ROCKWOOL FIBER OR SLUSHY FOAM SEALANT TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FIRE AND SMOKE THROUGH CONDUITS, AIRWAYS, AND OTHER ELECTRICAL RACKWAYS PASS THROUGH FIRE RATED PARTITIONS AND/OR SLABS.
10. ALL CERTIFICATES OF APPROVAL SHALL BE IN TRIPlicate, DELIVERED TO THE ENGINEER, AND BECOME THE PROPERTY OF THE OWNER.
11. CONTRACTOR SHALL VERIFY ALL EQUIPMENT REQUIREMENTS BEFORE INSTALLING CONDUIT OR CONDUCTORS FROM POWER SOURCE TO EQUIPMENT TERMINATION.
12. THE CONTRACTOR SHALL X-RAY SLABS IN AREA OF PENETRATION PRIOR TO CORE DRILLING AND COORDINATE WITH EQUIPMENT IN CEILING SPACE BELOW TO CHECK FOR OBSTRUCTIONS.
13. CONDUCTOR INSTALLATION: HOURGLASS TO THE PANELBOARD MAY BE RUN TOGETHER IN ONE CONDUIT.
14. PROVIDED ALL CONNECTIONS ARE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL ELECTRICAL CODE REQUIREMENTS, AND THE MAXIMUM UNBALANCED CURRENT IN NEUTRAL DOES NOT EXCEED THE CAPACITY OF THE WIRE, NO MORE THAN 3 SINGLE PHASE CIRCUIT SHALL BE INSTALLED IN ONE RACEWAY. ELIMINATE SPICES WHEREVER POSSIBLE, AND REMOVE NECESSARY, SPICES IN READILY ACCESSIBLE PANEL, JUNCTION OR OUTLET BOX.
15. MODIFICATIONS TO EXISTING PANELBOARDS: THE ELECTRICAL CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AND/OR FUSED SWITCHES AS REQUIRED. NEW EQUIPMENT SHALL MATCH EXISTING INSTALLED EQUIPMENT AND SHALL BE OF THE SAME MANUFACTURER AND TYPE AS SIMILAR EXISTING EQUIPMENT. INTERRUPT RATING OF EQUIPMENT SHALL BE THE SAME AS OF THE EXISTING EQUIPMENT.
16. INTERRUPTION OF ELECTRICAL POWER: THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK REQUIRING INTERRUPTION OF ELECTRICAL POWER WITH THE BUILDING OWNER AND SHALL OBTAIN WRITTEN PERMISSION FROM THE BUILDING OWNER PRIOR TO SHUTTING DOWN POWER TO ANY SWITCHBOARD. THE CONTRACTOR SHALL ALSO PROVIDE NOTICE TO ALL OTHER TRADES OF ALL SCHEDULED INTERRUPTIONS OF POWER.
17. SITE VISIT: PRIOR TO SUBMITTING HIS BID, THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER IN ADVANCE OF ANY CONDITIONS THAT EXIST THAT WOULD PREVENT THE WORK HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS FROM BEING PERFORMED. FAILURE TO VISIT THE SITE PRIOR TO BID AND START OF CONSTRUCTION WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO INSTALL DESIGN WITHIN THE CONSTRAINTS OF THE EXISTING CONDITIONS.

### ELECTRICAL LEGEND

#### GENERAL NOTES

18. GUARANTEE: THE ELECTRICAL CONTRACTOR SHALL LEAVE THE ENTIRE ELECTRICAL SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. BENEFICIAL USE SHALL NOT BE CONSIDERED AS FINAL ACCEPTANCE. THE ELECTRICAL CONTRACTOR SHALL, DURING THE ONE YEAR GUARANTEE PERIOD, BE RESPONSIBLE FOR THE PROPER REPAIR AND ADJUSTMENTS OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT, APPARATUS, DEVICES, ETC. INSTALLED BY HIM AND DO ALL WORK NECESSARY TO ENSURE EFFICIENT AND PROPER FUNCTIONING, PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD. APPROXIMATELY 11 MONTHS AFTER FINAL ACCEPTANCE OF THIS PROJECT, A POST CONSTRUCTION REVIEW OF THE PROJECT WILL BE MADE.
19. THE CONTRACTOR SHALL FURNISH PERSONNEL TO ASSIST THE OWNER IN THIS REVIEW. ANY ADJUSTMENTS, REPAIRS OR REPLACEMENTS FOUND NECESSARY DURING REVIEW SHALL BE DONE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL INCUR FINANCIAL RESPONSIBILITY FOR ANY DAMAGES CAUSED BY, OR RESULTING FROM DEFECTS IN HIS WORK.
21. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN AT THE SITE, FOR THE OWNER, ONE COPY OF ALL DRAWINGS, ACCESSIBLE, APPROVED SHOP DRAWINGS, REVISIONS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MAINTAINED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION. THE SET OF DRAWINGS AND OTHER INFORMATION SHALL BE DELIVERED TO THE OWNER AND ONE COPY GIVEN TO THE ENGINEER UPON COMPLETION OF WORK.
22. ALL CONDUCTORS SHALL BE COPPER, CONFORMING TO THE LATEST I.E.C. CREDITS OF THE NATIONAL ELECTRICAL CODE, STRIPPED FOR 1/2" AND LARGER, SOLID FOR 1/2" AND SMALLER.
23. ALL WIRING SHALL BE INSTALLED IN CONDUIT (EMT WITH STEEL COMPRESSION FITTINGS OR TYPE MC CABLE WHERE ALLOWED BY CODE). MINIMUM CONDUIT SIZE SHALL BE 3/4" ALL CONDUIT AND WIRING SHALL BE CONCEALED IN CEILINGS AND/OR WALLS UNLESS SPECIFICALLY NOTED OTHERWISE. CHANNEL, EXISTING WALLS WHERE BE USED, WHERE WIRING IS USED IN CEILING SPACE TO THE LAC. OF A NEW FINISHED CEILING, EMT SHALL BE USED TO INSTALL ALL CONDUITS IN RUNS WHICH ARE PARALLEL AND PERPENDICULAR WITH BUILDING LINES.

### ELECTRICAL LEGEND

#### POWER

NOTES: REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS

- WP WEATHER PROOF (NEMA 3R)
- IP ISOLATED CROWD
- GI GROUND FAULT INTERRUPTER
- W WALL MOUNTED 20A DUPLEX RECEPTACLE (18" AFF. COV)
- WALL 20A 1/2" DUPLEX RECEPTACLE (18" AFF. COV)
- WALL MTD SPECIAL RECEPTACLE - NEMA TYPE PER PLANS
- FLOOR MOUNTED 20A 1/2" DUPLEX RECEPTACLE
- CEILING MOUNTED JUNCTION BOX
- WALL MOUNTED JUNCTION BOX
- DISCONNECT SWITCH - NON FUSED
- FUSED DISCONNECT SWITCH - FUSE SIZE PER PLANS
- COMBINATION STARTER/DISCONNECT SWITCH
- MOTOR REFER TO MECHANICAL PLANS FOR HORSEPOWER
- SW SURFACE MOUNTED PANEL
- ENCLOSED CIRCUIT BREAKER

#### GENERAL

- INDICATES PLAN NOTE
- INDICATES REVISION. CLOUDED AREA CONTAINS THE REVISION
- INDICATES ROOM NUMBER
- BRANCH CIRCUIT HOMERUN
- GROUND

#### LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMP DATA			NOTES
				NO.	WATTS	TYPE	
A	○	6 LED RECESSED DOWNLIGHT	ATLANTIC LIGHTING LETA-ELAP20-25-12	-	20	LED	NOTE 1
B	—	LED STRIPS MOUNTED ABOVE ACQUISITUAL PANELS	CALL 41,849,978/RY LED-3.5 300-PW DRY-UC	-	6W/FT	LED	NOTE 1,2,3

**GENERAL NOTES:**

1. ALL LIGHTING FIXTURE MANUFACTURERS WILL BE COORDINATED.
2. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FIXTURES.

**REVISION NOTES:**

1. FINAL SELECTION OF LIGHT FIXTURE ARE TO BE PROVIDED BY THE ARCHITECT. THESE FIXTURES ARE SUGGESTED LIGHT FIXTURE FOR THE APPLICATION INTENDED.
2. FIXTURE LENGTH SHALL BE PER DRAWING. COORDINATE WITH ARCHITECT FOR EXACT SIZE.
3. COORDINATE WITH ARCHITECT FOR FINISH.

### ELECTRICAL LEGEND

#### ABBREVIATIONS

A, AMP AMPERES	G, GND GROUND
AB ABOVE	GC GENERAL CONTRACTOR
AD ALTERNATE CURRENT	GF GROUND FAULT BREAKER/INTERRUPTER
AF ABOVE FINISHED FLOOR	IG ISOLATED GROUND
ARH ARCHITECTURAL ARCHITECT	INCAND INCANDESCENT
BEL BELLOW	KVIC KILOVOLT INTERRUPTING CURRENT
BKR BREAKER	KVA KILOVOLT AMPERES
C CONDUIT	KV KILOVOLTS
CEL CEILING	LTS LIGHTS
CM CENTER	M METER
DC DIRECT CURRENT	MCS ENCLOSED WOODS CASE SWITCH
DIS DISCONNECT SWITCH	MECH MECHANICAL
DSC DISCONNECT SWITCH	MT MOUNTING HEIGHT
DWG DRAWING	MO MAIN LUG ONLY
EC ELECTRICAL CONTRACTOR	MM MILLIMETER
EF EXHAUST FAN	MTD MOUNTED
ELEC ELECTRICAL	NEC NATIONAL ELECTRICAL CODE
EM EMERGENCY	NLA NUMBER
EQUI EQUIPMENT	NTS NOT TO SCALE
EXIT EXITING	P POLE
FA FIRE ALARM	PH G. PHASE
FACP FIRE ALARM CONTROL PANEL	PNL PANEL
FANP FIRE ALARM BELL PANEL	RECP RECEPTACLE
FKT FIXTURE	RM ROOM
FLA FULL LOAD AMPERES	TEL TELEPHONE
FLOOR FLOOR	TP TYPE
	UN UNLESS OTHERWISE NOTED
	V VOLTS
	W WATTS
	WTR WITH
	WB WITHIN

#### LIGHTING

NOTE: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES

- A CAPITAL LETTER ADJACENT TO FIXTURE INDICATES TYPE
- LOWER CASE LETTER INDICATES SWITCHING
- NL INDICATES NIGHT LIGHTING - UNSWITCHED FIXTURE
- SHAZED CIRCLE INDICATES FIXTURE ON EMERGENCY CIRCUIT
- W WALL MOUNTED FIXTURE
- POLE MOUNTED FIXTURE - SINGLE HEAD
- EMERGENCY BATTERY PWR LIGHT FIXTURE
- CEILING/WALL MOUNTED EXIT SIGN - SINGLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS
- CEILING/WALL MOUNTED EXIT SIGN - DOUBLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS
- 20A, 1/2" 20A TOGGLE TYPE LIGHT SWITCH
- 20A, 1/2" 100V EV-OPERATED LIGHT SWITCH
- 5V LOW-VOLTAGE LIGHT SWITCH
- TOGGLE TYPE MOTOR STARTER WITH THERMAL OVERLOAD PROTECTION
- WALL MOUNTED OCCUPANCY SENSOR. WATSTOPPER DW-100 OR APPROVED E.U.A.
- DUAL RELAY WALL MOUNTED OCCUPANCY SENSOR. WATSTOPPER DW-200 OR APPROVED E.U.A.
- CEILING MOUNTED OCCUPANCY SENSOR. WATSTOPPER DW-100P OR APPROVED E.U.A.
- CEILING MOUNTED DAYLIGHT SENSOR
- HIGH BAY LINE VOLTAGE PASSIVE INFERRED OCCUPANCY SENSOR WITH PROTECTIVE CASE. WATSTOPPER HD-300-LS WITH PROTECTIVE CASE OR APPROVED E.U.A.



**DGS**  
DISTRICT OF COLUMBIA  
DEPARTMENT OF GENERAL SERVICES



**AMT**  
ARCHITECTURAL MECHANICAL & ELECTRICAL ENGINEERS  
CONSULTING STRUCTURAL ENGINEER



DISTRICT OF COLUMBIA  
REGISTERED PROFESSIONAL ENGINEER  
No. 8725  
ELECTRICAL ENGINEER

REVISION SCHEDULE	DATE
1 PERMIT SET	07-17-2015
REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**DYRS GYMNASIUM RENOVATION**  
1000 MOUNT OLIVET ROAD, NE WASHINGTON, DC 20002

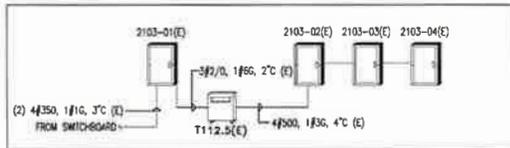
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**ELECTRICAL COVER SHEET**

PROJECT NO: 1310  
JULY 17, 2015  
SCALE:  
SHEET NO:

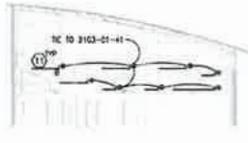
E001

PANELBOARD NAME	2103-01	PANELBOARD NAME	2103-03	PANELBOARD NAME	2103-04
DESCRIPTION	2103-01	2103-03	2103-03	2103-04	2103-04
LOCATION	GYMNASIUM EAST	GYMNASIUM SOUTH	GYMNASIUM SOUTH	GYMNASIUM SOUTH	GYMNASIUM SOUTH
DATE	07/17/15	07/17/15	07/17/15	07/17/15	07/17/15
DESIGNED BY	...	...	...	...	...
CHECKED BY	...	...	...	...	...
APPROVED BY	...	...	...	...	...
REVISIONS	...	...	...	...	...
NOTES	...	...	...	...	...

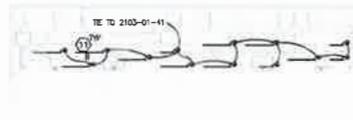
**7 EXISTING PANEL SCHEDULES**  
SCALE: NO SCALE



**6 EXISTING PARTIAL RISER DIAGRAM**  
SCALE: NO SCALE



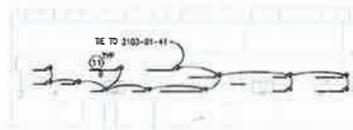
**5 GYMNASIUM EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



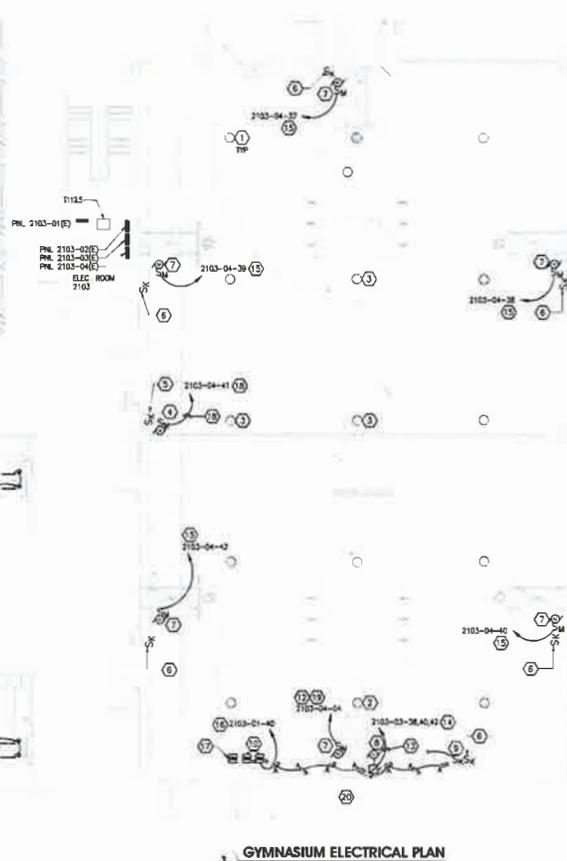
**4 GYMNASIUM SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 GYMNASIUM WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 GYMNASIUM NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 GYMNASIUM ELECTRICAL PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS

**SPECIFIC NOTES**

- EXISTING GYMNASIUM HID LIGHT FIXTURES TO REMAIN. CONTRACTOR SHALL CLEAN AND RE-LAMP ALL FIXTURES (TYPICAL OF 15) AND SHALL MAKE CERTAIN THAT ALL THE LIGHT FIXTURES ARE IN WORKING ORDER. SEE NOTES 2 AND 3 BELOW FOR ADDITIONAL DETAILS.
- THIS FIXTURE HAS HOUSY BALLAST. CONTRACTOR SHALL REPLACE BALLAST.
- THESE FIXTURES ARE OTHER BREAKER OR NOT IN WORKING ORDER. CONTRACTOR SHALL REPLACE TO MATCH EXISTING.
- ROLL-UP DIMMER WHICH MOTOR CIRCUIT. PROVIDE MOTOR RATED TOGGLE SWITCH AS SHOWN. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS. CONNECT TO KEY-SWITCH. SEE NOTE 8 BELOW.
- KEY-SWITCH, THREE POSITION MOMENTARY CONTACT SWITCH FOR CONTROL OF ROLL-UP DIMMER. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
- KEY SWITCH FOR CONTROL OF BASKETBALL RETRACTABLE HOOP WHICH COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION. KEY SWITCH IS PROVIDED WITH WHICH MOTOR. SEE NOTE 7 BELOW.
- ELECTRIC WHICH MOTOR FOR RETRACTABLE BASKETBALL HOOP (TYPICAL OF 7). PROVIDE MOTOR RATED TOGGLE SWITCH AS SHOWN. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS. CONNECT TO KEY SWITCH. SEE NOTE 8 ABOVE WHICH SHALL BE BY SPALDING MODEL B-1000S-00000 OR APPROX. EQUAL.
- 200A/2P/40C, 30A DISCONNECT SWITCH WITH 20A TRIPS FOR RETRACTABLE STAGE. COORDINATE FINAL LOCATION WITH ARCHITECTURAL DRAWINGS AND MANUFACTURER RECOMMENDATION. CONNECT TO KEY SWITCH. SEE NOTE 9 BELOW.
- KEY SWITCH FOR CONTROL OF RETRACTABLE STAGE. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION. KEY SWITCH IS PROVIDED WITH THE STAGE MOTOR. SEE NOTE 8 ABOVE.
- PROVIDE DIMMER SWITCHES FOR THE DOWNLIGHTS "A" AND "B".
- LED STRIP LIGHTING. SEE LIGHTING FIXTURE SCHEDULE ON DRAWING E001 FOR FIXTURE TYPE. FIXTURE IS LOCATED ABOVE SELECTED ACoustICAL PANELS AS SHOWN. FOR FINAL LOCATION, LENGTH AND QUANTITY. REFER TO LATEST ARCHITECTURAL DRAWINGS, WIRING, CONDUITS AND CONDUIT SHALL BE CONCEALED BEHIND THE PANELS SO THAT THEY ARE VISIBLE FROM THE FLOOR. COORDINATE WITH ARCHITECTURAL DETAILS PRIOR TO INSTALLATION OF THESE LIGHTS. CONTROL VIA DIMMER SWITCH. SEE NOTE 17 BELOW.
- THIS 200A/1P CIRCUIT BREAKER IS IDENTIFIED AS SPARE IN CURRENT PANEL DIRECTORY IN FIELD. CONTRACTOR SHALL VERIFY AVAILABILITY OF THIS CIRCUIT IN FIELD AND COORDINATE WITH BUILDING ENGINEER TO FIND AVAILABLE CIRCUITS IF THIS IS NOT A SPARE CIRCUIT.
- PROVIDE 3/12, 1/125 IN 3/4" CONDUIT.
- PROVIDE NEW 20A/20P CIRCUIT BREAKER USING EXISTING SPACE IN PANEL 2103-03 IN ELECTRICAL ROOM 2103. CIRCUIT BREAKER SHALL MATCH EXISTING.
- PROVIDE NEW 20A/1P CIRCUIT BREAKER USING EXISTING SPACE IN PANEL 2103-04 IN ELECTRICAL ROOM 2103. CIRCUIT BREAKER SHALL MATCH EXISTING.
- PROVIDE NEW 20A/1P CIRCUIT BREAKER USING EXISTING SPACE IN PANEL 2103-01 IN ELECTRICAL ROOM 2103. CIRCUIT BREAKER SHALL MATCH EXISTING.
- DIMMER FOR ACoustICAL PANEL LIGHTING (SEE DETAIL 2 THRU 5). COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ROUGH-IN AND INSTALLATION.
- PROVIDE 2/10, 1/100 IN 3/4" CONDUIT.
- REPLACE 20A/1P CIRCUIT BREAKER TO 30A/1P.
- 20A PLESED DISCONNECT SWITCH. COORDINATE EXACT INSTALL LOCATION IN FIELD.
- CONNECT TO DIMMER SWITCH. SEE NOTE 17 ABOVE.

**DCS**  
DCS (DEPARTMENT OF GENERAL SERVICES)  
1001 LINDSEY AVENUE  
WASHINGTON, DC 20004

**ASPE**  
ARCHITECTURAL SERVICES & ASSOCIATES  
1001 LINDSEY AVENUE  
WASHINGTON, DC 20004

**MEV**

CONSULTING STRUCTURAL ENGINEER  
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WASHINGTON, DC 20004

**MTI**

Global Engineering Solutions  
1001 LINDSEY AVENUE  
WASHINGTON, DC 20004

**AMT**

1001 LINDSEY AVENUE  
WASHINGTON, DC 20004

**AMT**

1001 LINDSEY AVENUE  
WASHINGTON, DC 20004



SUBMISSION SCHEDULE	DATE
1 PERMIT SET	07-17-2015

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:

**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**GYMNASIUM ELECTRICAL PLAN**

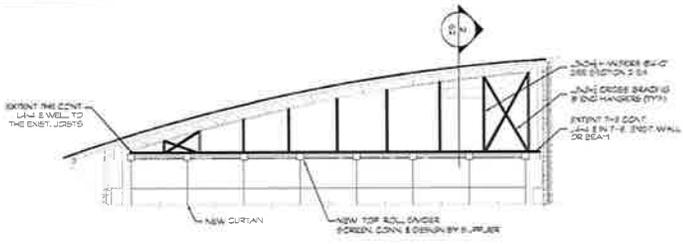
PROJECT NO: 1310

JULY 17, 2015

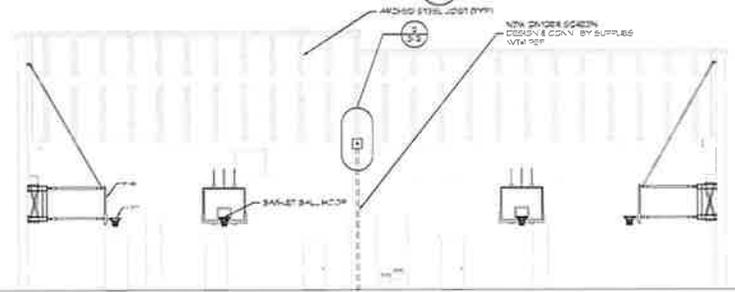
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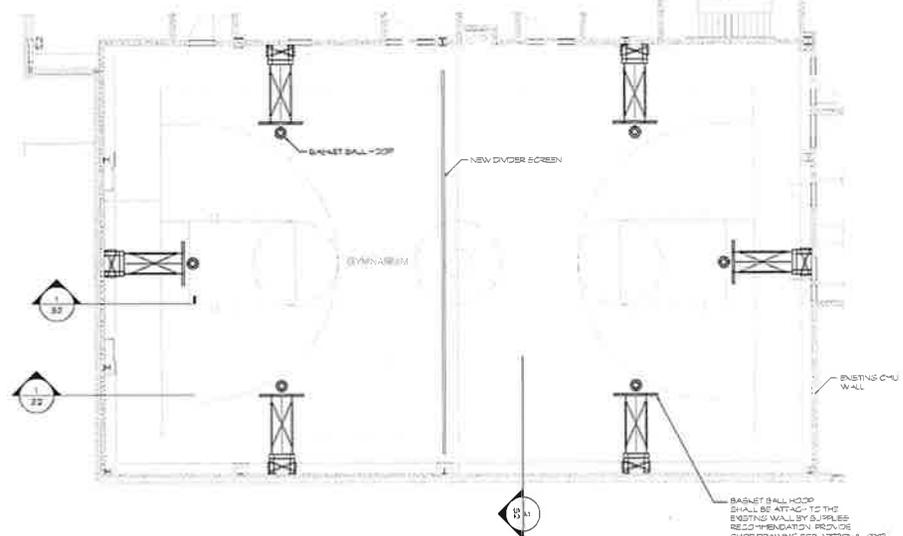




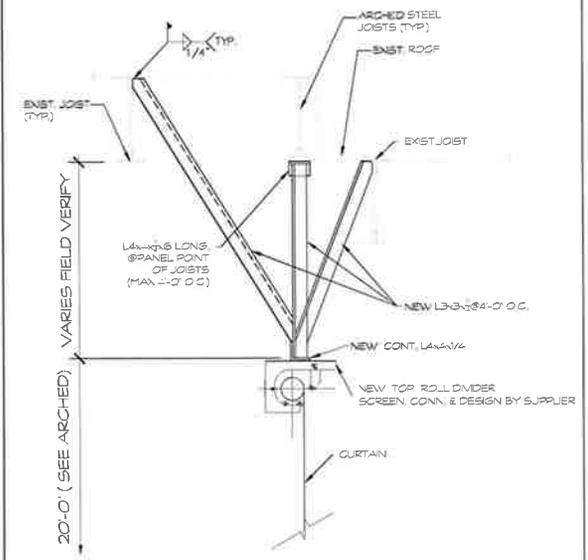
**SECTION 2**  
SCALE: 1/8"=1'-0"  
S-2



**SECTION 1**  
SCALE: 1/8"=1'-0"  
S-2

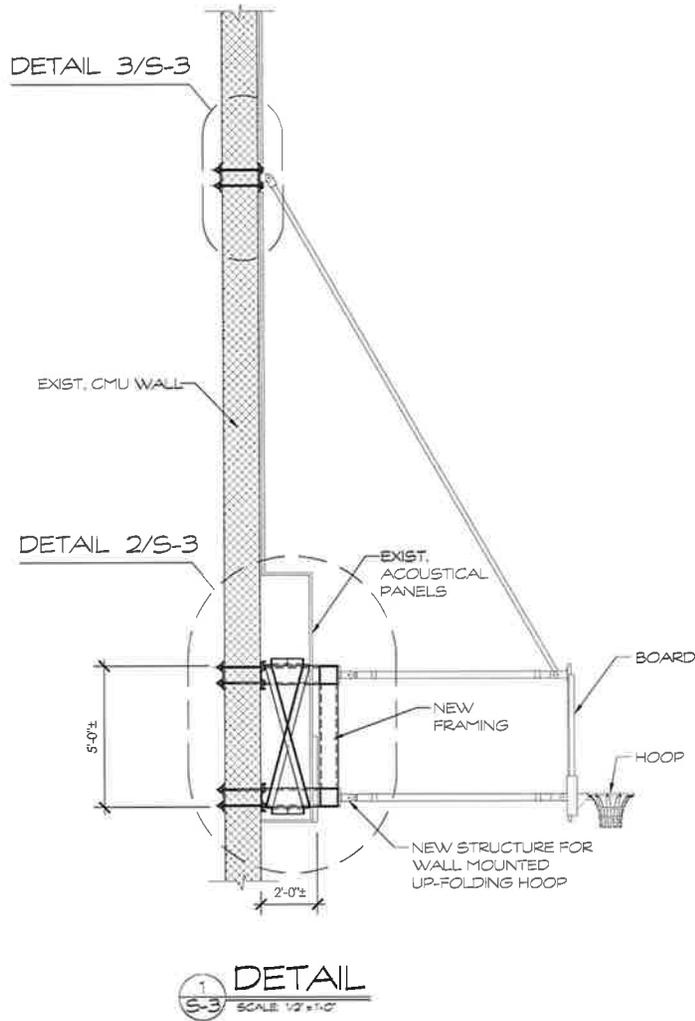


**EXISTING GYMNASIUM PLAN**  
SCALE: 1/8"=1'-0"  
S-2

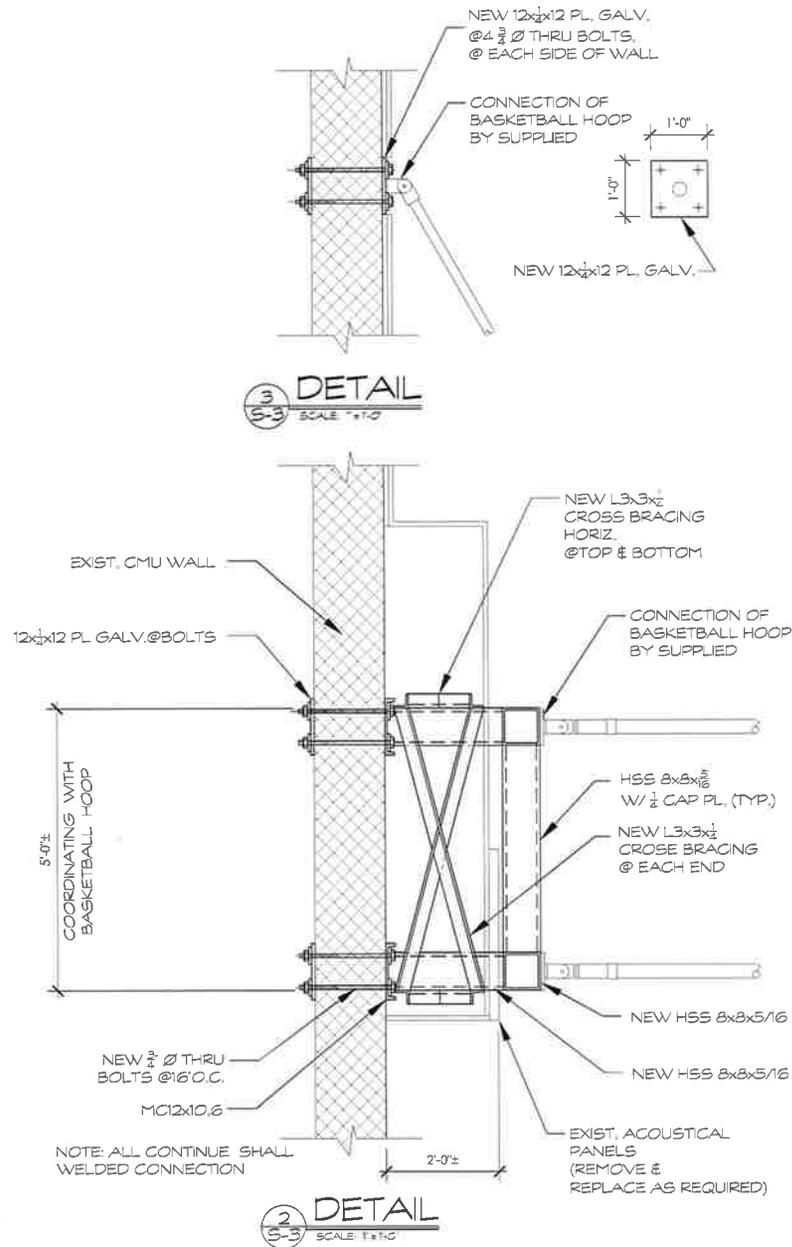


**SECTION 2**  
SCALE: 1/2"=1'-0"  
S-2

DGS  
 U.S. DEPARTMENT OF GENERAL SERVICES  
 LANCE HALEY & ASSOCIATES  
 CONSULTING STRUCTURAL ENGINEER  
 AMT  
 SUBMISSION SCHEDULE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NO. DESCRIPTION: \_\_\_\_\_  
 REVISION SCHEDULE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 NO. DESCRIPTION: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_  
**DYRS GYMNASIUM RENOVATION**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002  
 SHEET TITLE: \_\_\_\_\_  
**FLOOR PLAN & SECTION**  
 PROJECT NO: \_\_\_\_\_  
 JULY 17, 2015  
 SCALE: AS NOTED  
 SHEET NO: \_\_\_\_\_



NOTE: 1- ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED  
2- ALL DIMENSION SHALL COORDINATED WITH BASKETBALL HOOP SUPPLIER.



DGS DEPARTMENT OF GENERAL SERVICES

L&A ENGINEERS & ARCHITECTS

MEV

CONSULTING STRUCTURAL ENGINEER

CIVIL ENGINEERING SOLUTION

ARCHITECTURAL MATERIALS TECHNOLOGIES

SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:

**DYRS GYMNASIUM RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**SECTION & DETAIL**

PROJECT NO: —

JULY 17, 2015

SCALE: AS NOTED

SHEET NO:

**S-3**

VICINITY MAP



LOCATION MAP



LIST OF DRAWINGS

CS-01	COVER SHEET & LIST OF DRAWINGS
G-01	ABBREVIATIONS & SYMBOLS
G-02	GENERAL NOTES
<b>CIVIL</b>	
C-0.0	COVER SHEET
C-1.0	EXISTING CONDITIONS PLAN
C-2.0	DEMOLITION PLAN
C-3.0	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	EROSION AND SEDIMENT CONTROL NOTES
C-3.2	EROSION AND SEDIMENT CONTROL DETAILS
C-4.0	SITE DEVELOPMENT PLAN
C-4.1	SITE GEOMETRY LAYOUT PLAN AND DETAILS DETAILS
C-4.2	HARDSCAPE DETAILS
C-5.0	SITE UTILITY PLAN
C-6.0	STORMWATER MANAGEMENT PLAN
C-6.1	STORMWATER MANAGEMENT DETAILS
C-6.2	STORMWATER MANAGEMENT DETAILS
C-6.3	STORMWATER MANAGEMENT CALCULATIONS
C-6.4	STORMWATER MANAGEMENT MAINTENANCE SCHEDULES
<b>ARCHITECTURE</b>	
AE-01	EXISTING FLOOR PLAN & SCOPE OF WORK
AD-01	DEMOLITION PLAN
AD-01-01	COURTYARD PLAN
AD-01-02	WALL OPENING & DETAILS
AD-01-03	DETAILS
AD-01-04	WALL PLAN, ELEVATION, SECTIONS, & DETAILS
<b>STRUCTURE</b>	
S-1	STRUCTURAL NOTES
S-2	PROPOSED FOUNDATION & WALL PLAN
S-3	SECTIONS & DETAILS
S-4	SECTIONS & DETAILS
<b>ELECTRICAL</b>	
E001	ELECTRICAL COVER SHEET
E101	COURTYARD ELECTRICAL PLAN

SCOPE OF WORK:

1. THE SCOPE OF WORK OF THIS PROJECT IS LIMITED TO IMPROVING THE EXISTING COURTYARDS OF THE EXISTING BUILDING MARKED AS COURTYARD #1 AND COURTYARD #2.
2. EXISTING BUILDING IS UNTOUCHED IN COURTYARD IMPROVEMENTS.
3. THE SCOPE OF WORK IN THE COURTYARD INCLUDES CREATING A 10'-0" WIDE AND 10'-0" HIGH OPENING IN AN EXISTING 25'-8" LONG AND 28'-0" HIGH NON LOAD BEARING MASONRY DIVIDING WALL BETWEEN COURTYARD #1 AND COURTYARD #2. TEMPORARY SUPPORTS FOR NEW LINTELS WILL BE INSTALLED AND INDICATED ON THE STRUCTURAL DRAWINGS. A ROLL UP GRILLE IS PROVIDED AT THE OPENING TO ENABLE SECURING COURTYARD #1 IN CASE IT IS REQUIRED.
4. AT THE END OF THE COURTYARD #2 EXISTING FENCE WALL AND DOOR ARE REPLACED BY A 25'-8" LONG AND 15'-0" HIGH MASONRY WALL WITH AN ARMED EXIT DOOR AND SECURITY GRILLE.
5. ARCHITECTURAL, STRUCTURAL, CIVIL LANDSCAPING AND ELECTRICAL IMPROVEMENTS ARE INDICATED ON EACH DISCIPLINE DRAWINGS.

CODE ANALYSIS:

BUILDING DATA:  
THE SCOPE OF WORK IS LIMITED TO COURTYARDS ONLY AND NO WORK IS CARRIED INSIDE THE BUILDING.

THE FOLLOWING CURRENT CODES GOVERN THE DESIGN CRITERIA:

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL ENERGY CODE
- 2012 INTERNATIONAL FIRE CODE
- 2011 NATIONAL ELECTRIC CODE
- 2011 NFPA 101 LIFE SAFETY CODE

JURISDICTION: DISTRICT OF COLUMBIA

BUILDING LOCATION: 1000 MOUNT OLIVET ROAD, NE  
WASHINGTON DC 20002

BUILDING DESCRIPTION: THE EXISTING BUILDING IS A THREE STORIES MASONRY BUILDING AROUND THE COURTYARDS AND IS USED AS YOUTH REHABILITATION SERVICES (DYRS). NO WORK IS BEING DONE INSIDE THE BUILDING. THE USE OF THE COURTYARDS IS FOR FULLY SUPERVISED AND CONTROLLED EXTERIOR ACTIVITIES FOR RELAXATION, SMALL GROUP MEETINGS, DISCUSSIONS AND PLAY ACTIVITIES.

USE GROUP: GROUP B (ACCESSORY TO THE MAIN BUILDING)

COURTYARD AREA: 10,937 SQ. FT.

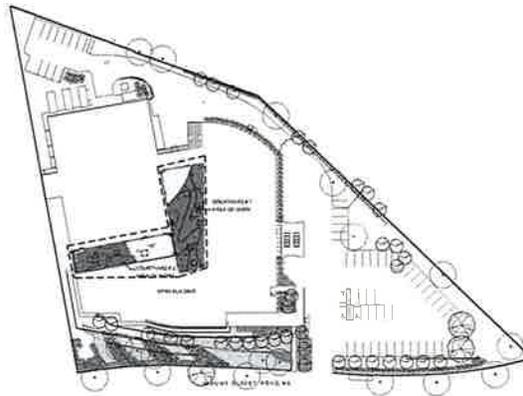
BUILDING AREA: NOT APPLICABLE

TYPE OF CONSTRUCTION: NOT APPLICABLE

TYPE OF SPRINKLER: NOT APPLICABLE

ALLOWABLE STORIES AND HEIGHT: NOT APPLICABLE

OCCUPANT LOADING: LESS THAN 50 (SIGNAGE LIMITING THE OCCUPANT LOAD TO 49 IS INS)



**SITE PLAN**  
SCALE: 1/8"=1'-0"  
CS-01 CS-01

# YOUTH SERVICES CENTER COURTYARD RENOVATION

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

**CONSTRUCTION DOCUMENTS**  
OCTOBER 12, 2015

PROJECT TEAM

OWNER



DEPARTMENT OF GENERAL SERVICES (DGS)  
1500 U STREET, NW, 4TH FLOOR  
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MECHANICAL, ELECTRICAL, PLUMBING



GLOBAL ENGINEERING SOLUTION

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CIVIL ENGINEERING



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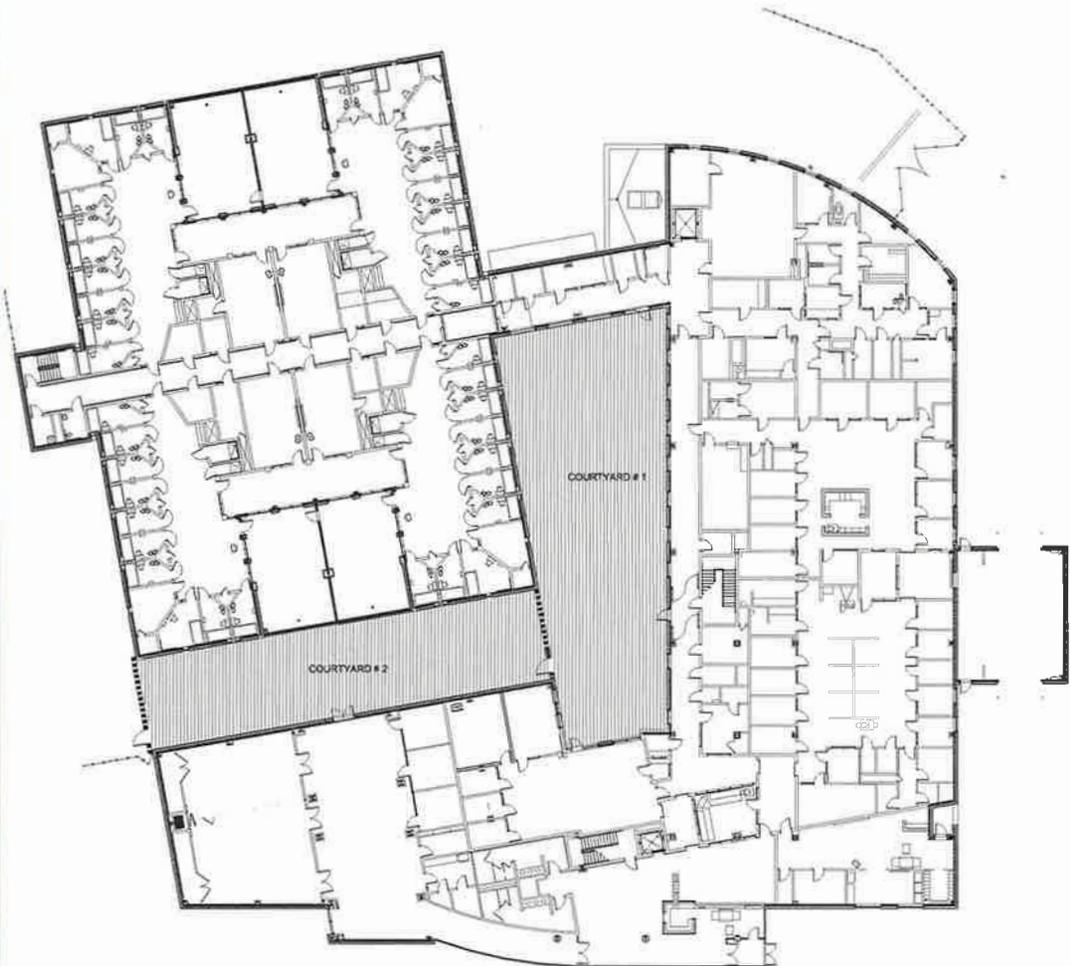
SHEET TITLE  
COVER SHEET &  
LIST OF DRAWINGS

PROJECT NO 1310 SUBMISSION DATE DATE OF ORIGIN: AUGUST 20, 2015 SHEET NO

CS-01







EXISTING  
FIRST FLOOR PLAN  
SCALE: 1/16"=1'-0"  
AE-01 AE-01

**LEGEND GENERAL SCOPE OF WORK**

- COURTYARD 1 & 2 (AREA OF WORK)**
- 1. WALLS:** EXISTING WALL BETWEEN TWO COURTYARDS WILL REMAIN AND BE STRUCTURALLY MODIFIED AND ARCHITECTURALLY REPAIRED. MOYORIZED METAL ROLL UP GRILL WILL BE PROVIDED IN THE OPENING.
- 2. OUTDOOR TV:** LARGE OUTDOOR TV WILL BE INSTALLED ON COURT YARD 2 SIDE OF THE WALL BETWEEN COURTYARD 1 AND COURTYARD 2. SEE SHEET 02A01-02
- 3. SITE FURNISHINGS:** PROVIDE NEW SITE FURNISHINGS INCLUDING SEATING, TABLES, PILLARS, ETC. EXISTING ELEMENT IN CONFLICT WITH THE NEW DESIGN IS TO BE REMOVED. COURTYARD 1 IS TO BE UPGRADED WITH NEW LIGHTING AND PAVEMENT.
- \*\*\*\*\* STRUCTURAL ELEMENTS**
- 1. WALLS:** NEW OPENING TO BE CREATED IN THE EXISTING WALL BETWEEN THE COURTYARD 1 & COURTYARD 2 AND A NEW WALL TO BE CONSTRUCTED AT THE END OF COURTYARD 2
- NOTE**
- 1.** SEE DETAILED SCOPE OF WORK ON THE DRAWINGS.

DIVISION  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**YOUTH SERVICES CENTER  
COURTYARD  
RENOVATION**  
1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**EXISTING FLOOR PLAN &  
SCOPE OF WORK**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

**DEMOLITION KEY NOTES:**

**ITEMS TO BE DEMOLISHED**

- (1) WALLS NEW OPENING TO BE CREATED IN THE EXISTING WALL IN THE COURTYARD #1 SALVAGE BRICK FOR RE-USE. SEE STRUCTURAL DRAWINGS FOR TEMP SUPPORTS.
- (2) CONCRETE WALKWAY CONCRETE WALKWAY TO BE DEMOLISHED
- (3) METAL FENCE & DOOR METAL FENCE & DOOR TO BE DEMOLISHED

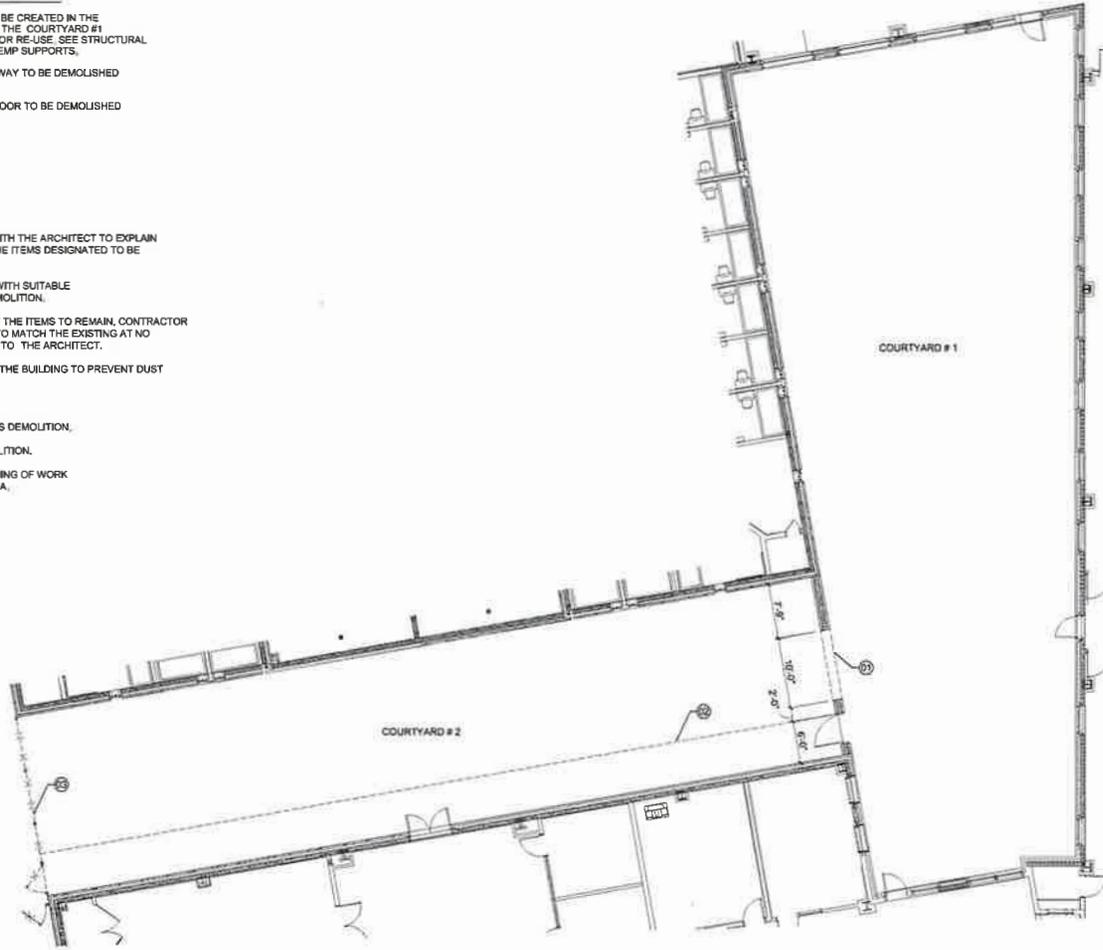
**GENERAL DEMOLITION NOTES:**

**GENERAL:**

1. BEFORE STARTING DEMOLITION, WALK THE SPACE WITH THE ARCHITECT TO EXPLAIN THE PROCESS AND PROCEDURE OF DEMOLISHING THE ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED.
2. PROTECT WALLS AROUND THE DEMOLITION AREAS WITH SUITABLE MATERIALS TO PREVENT FROM DAMAGE DURING DEMOLITION.
3. IN CASE OF DAMAGE TO FINISHES AND SURFACES OF THE ITEMS TO REMAIN, CONTRACTOR SHALL REPAIR AND FIX DAMAGED ITEMS WITH NEW TO MATCH THE EXISTING AT NO ADDITIONAL COST TO THE OWNER AND ACCEPTABLE TO THE ARCHITECT.
4. SEAL PROJECT WORK AREA FROM OTHER AREAS OF THE BUILDING TO PREVENT DUST TRAVELLING OUTSIDE OF THE WORK AREA.

**NOTES:**

1. SEE CIVIL ENGINEERING DRAWINGS FOR CIVIL WORKS DEMOLITION.
2. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DEMOLITION.
3. COORDINATE WITH DGS PROJECT MANAGER FOR TIMING OF WORK AND ENTRY/EXIT REQUIREMENTS TO THE WORK AREA.



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"  
1  
AD-01 AD-01

OWNER  
  
**DGS**  
 DEPARTMENT OF GENERAL SERVICES  
 1200 U STREET, NW,  
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 WASHINGTON, DC 20002  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**YOUTH SERVICES CENTER COURTYARD RENOVATION**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002  
 SHEET TITLE:  
**DEMOLITION PLAN**

PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

**MANUFACTURERS' SPECIFICATIONS:**

THE FOLLOWING MANUFACTURERS, MODEL NUMBERS AND SPECIFICATIONS ARE PROVIDED FOR QUALITY CONTROL AND WORKMANSHIP ON THE PROJECT. MATERIALS MEETING THE SAME OR BETTER IN QUALITY MAY BE USED ON THE PROJECT IF APPROVED BY THE ARCHITECT. ALL SUBSTITUTIONS MUST RECEIVE ARCHITECT'S WRITTEN APPROVAL PRIOR TO PROCUREMENT OF THE MATERIALS.

**COURTYARD ROLL-UP GRILLE (C01):**

1. MOTORIZED ROLL UP GRILLE SHALL BE MODEL 670 MANUFACTURED BY 'OVERHEAD DOOR INDUSTRY' OR, EQUAL ON APPROVAL BY THE ARCHITECT.
2. FINISH ON ALL MATERIALS SHALL BE ALUMINUM MILL FINISH POWDER COATED TO MATCH EXISTING WALL COLOR.
3. PATTERN SHALL BE STRAIGHT LATTICE.
4. BOTTOM BAR, GUIDE HOOD AND FACIA SHALL BE EXTRUDED ALUMINUM.
5. MOUNTING SHALL BE ON THE COURTYARD-2 FACE OF THE WALL.
6. OPERATION SHALL BE ELECTRIC BY WALL MOUNTED RMX OPERATOR.
7. SUBMIT MANUFACTURER'S PRODUCT DATA SHEETS, SHOP DRAWINGS AND RECOMMENDED INSTALLATION INSTRUCTIONS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO PROCURING MATERIALS.
8. ON COMPLETION, CLEAN UP ALL AREAS AND SURFACES OF DUST, DIRT AND RUBBISH.

**COURTYARD VERTICAL LED LIGHT ENCLOSURE (C02):**

9. ENCLOSURE FRAMING TUBES SHALL BE HOT ROLLED GALVANIZED MILD STEEL SQUARE TUBES A500 IN SIZE 2"x2"x1/4".
10. LIGHT ENCLOSURE SHALL BE PERFORATED STAINLESS STEEL SHEET 1/8" THICK WITH 1/2" ROUND ON 1/16" STAGGERED HOLES SHAPED AS INDICATED ON THE DRAWINGS. ALL ENCLOSURE EDGES SHALL BE CAPPED BY 2" WIDE "U" SHAPED 1/16" THICK STAINLESS STEEL TRIM WELDED ON EITHER SIDE OF THE ENCLOSURE.
11. ENCLOSURE CAP SHALL BE MADE OF STAINLESS STEEL 1/8" THICK METAL IN THE SHAPE INDICATED ON THE DRAWINGS.
12. FINISH ON ALL TUBES, PERFORATED ENCLOSURE, CAP, BASE PLATE, HARDWARE AND ATTACHMENTS SHALL BE POWDER COATED TO MATCH EXISTING WALL COLOR.
13. SUBMIT MANUFACTURER'S PRODUCT DATA SHEETS AND RECOMMENDED INSTALLATION INSTRUCTIONS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO PROCURING MATERIALS.

**OUTDOOR TV**

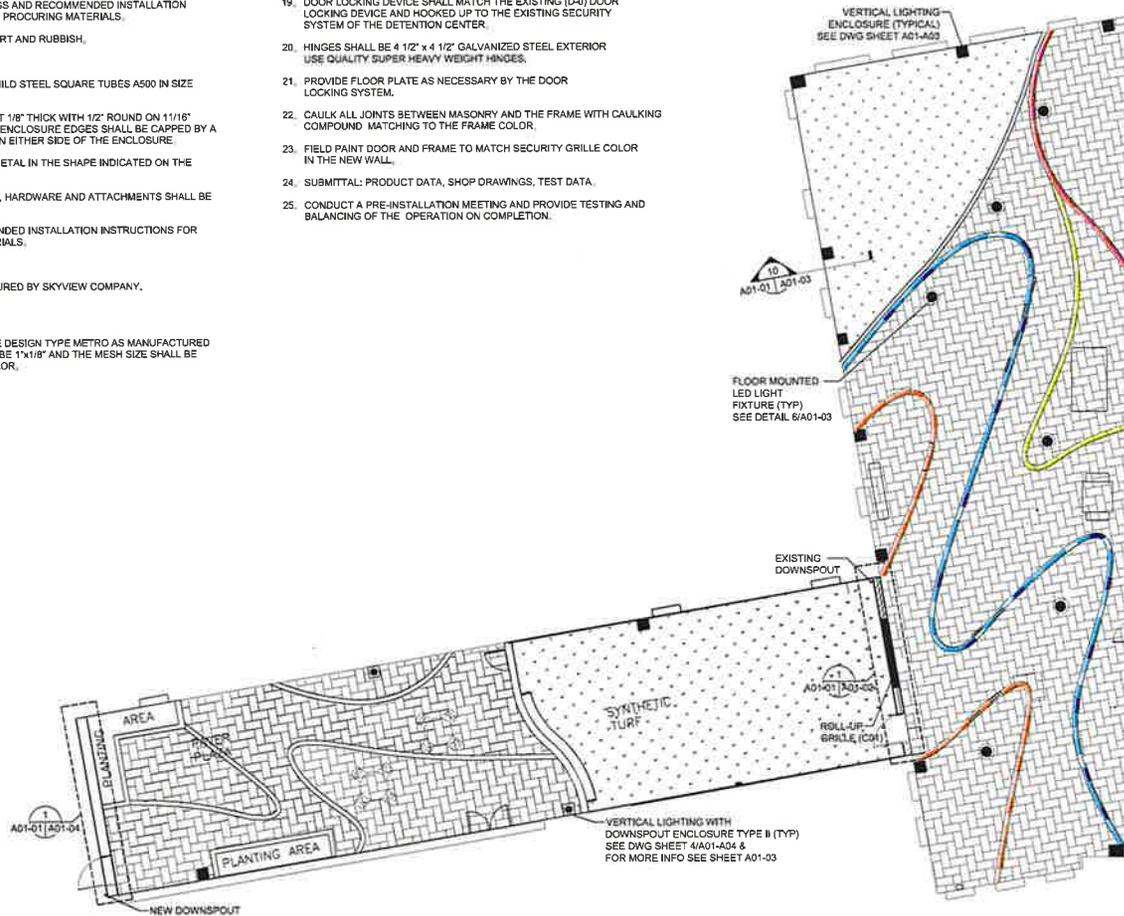
14. OUTDOOR TV SHALL BE 80"X6 DS-700 OUTDOOR TV AS MANUFACTURED BY SKYVIEW COMPANY.

**COURTYARD-2 FIXED SECURITY GRILLE IN EXTERIOR WALL:**

15. THE SECURITY GRILLE SHALL BE ARCHITECTURAL SECURITY GRILLE DESIGN TYPE METRO AS MANUFACTURED BY AMETCO MANUFACTURING CORPORATION. THE BAR SIZE SHALL BE 1"x1/8" AND THE MESH SIZE SHALL BE 2-7/16" x 5-3/16" POWDER COATED TO EXISTING MASONRY WALL COLOR.

**COURTYARD-2 BLAST RESISTANT STEEL DOOR & FRAME IN EXTERIOR WALL:**

16. FRAME SHALL BE 3 PSI BLAST RESISTANT (TESTED TO ASTM E330) PRESSED GALVANIZED STEEL FRAME FOR EXTERIOR USE AND SIZES INDICATED ON THE DRAWINGS OR, TO MATCH THE EXISTING DOOR FRAME (D-0). FRAME SHALL BE FACTORY PAINTED WITH RUST RESISTING COATINGS.
17. FRAMES SHALL BE ANCHORED INTO MASONRY BY FOUR GALVANIZED STEEL MASONRY ANCHORS ON EITHERSIDE.
18. DOOR SHALL BE 3 PSI BLAST RESISTANT (TESTED TO ASTM E330) GALVANIZED STEEL CORE FOR EXTERIOR USE REINFORCED FOR BLAST RESISTANT AND DOOR HARDWARE. DOOR SHALL BE FACTORY PAINTED WITH RUST RESISTING COATINGS.
19. DOOR LOCKING DEVICE SHALL MATCH THE EXISTING (D-0) DOOR LOCKING DEVICE AND HOOKED UP TO THE EXISTING SECURITY SYSTEM OF THE DETENTION CENTER.
20. HINGES SHALL BE 4 1/2" x 4 1/2" GALVANIZED STEEL EXTERIOR USE QUALITY SUPER HEAVY WEIGHT HINGES.
21. PROVIDE FLOOR PLATE AS NECESSARY BY THE DOOR LOCKING SYSTEM.
22. CAULK ALL JOINTS BETWEEN MASONRY AND THE FRAME WITH CAULKING COMPOUND MATCHING TO THE FRAME COLOR.
23. FIELD PAINT DOOR AND FRAME TO MATCH SECURITY GRILLE COLOR IN THE NEW WALL.
24. SUBMITTAL: PRODUCT DATA, SHOP DRAWINGS, TEST DATA.
25. CONDUCT A PRE-INSTALLATION MEETING AND PROVIDE TESTING AND BALANCING OF THE OPERATION ON COMPLETION.



**COURTYARD - PLAN**  
SCALE: 1/8"=1'-0"  
A01-01 A01-01

**LEGEND**

- VERTICAL LIGHTING ENCLOSURE (C02)
- FLOOR MOUNTED LED LIGHTING
- VERTICAL LIGHTING WITH DOWNSPOUT ENCLOSURE

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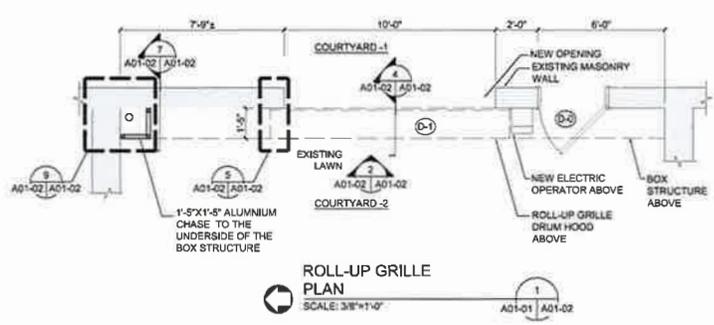
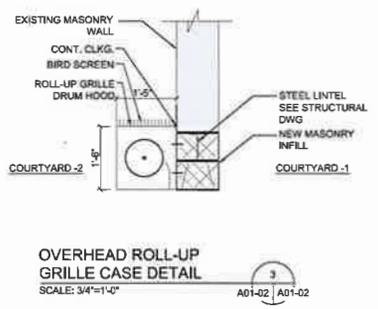
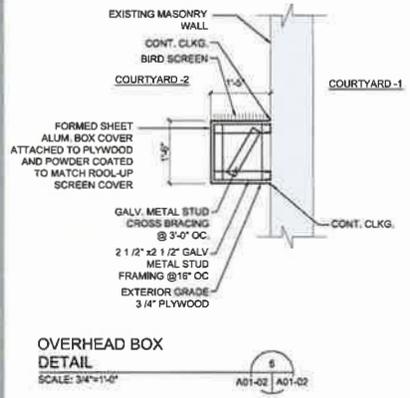
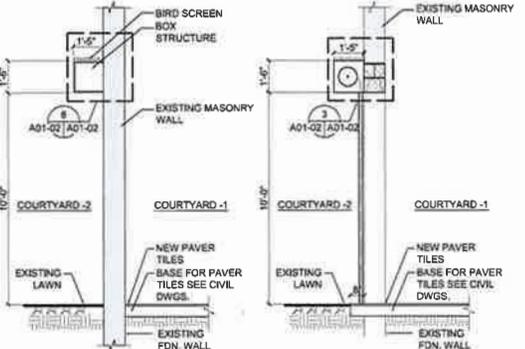
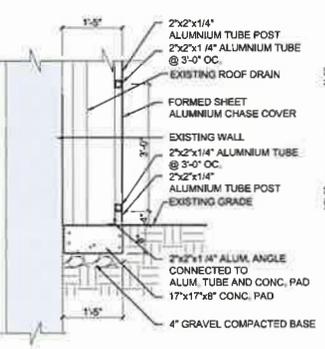
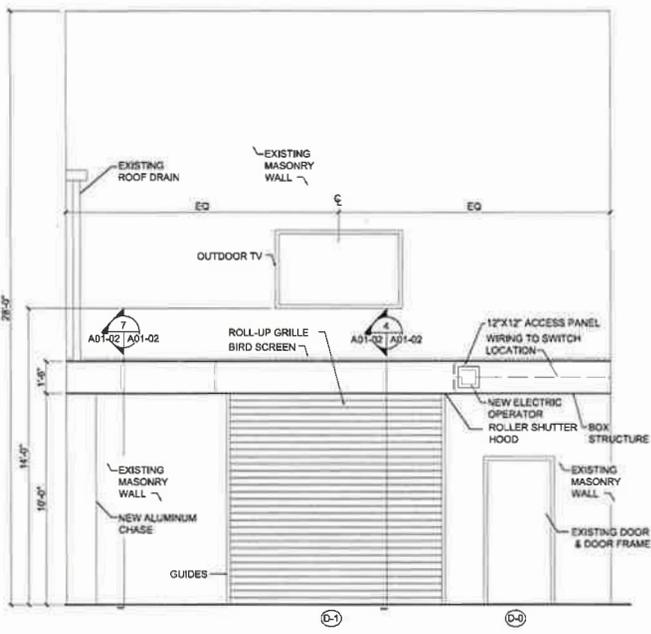
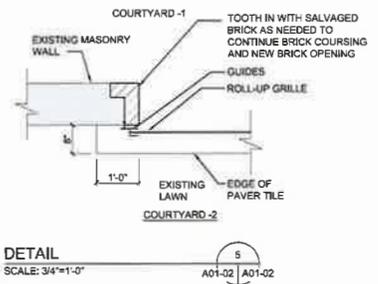
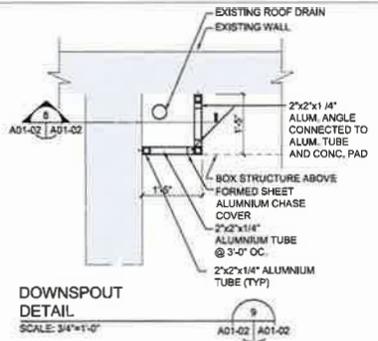


SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	
REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**YOUTH SERVICES CENTER  
COURTYARD  
RENOVATION**  
1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002  
SHEET TITLE:  
**COURTYARD PLAN**

PROJECT NO: 1310  
OCTOBER 12, 2015  
SCALE: AS NOTED  
SHEET NO:

**A01-01**



OWNER  
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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT:  
**YOUTH SERVICES CENTER COURTYARD RENOVATION**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**WALL OPENING & DETAILS**  
 PROJECT NO: 1310  
 OCTOBER 12, 2015  
 SCALE: AS NOTED  
 SHEET NO:

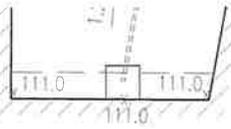
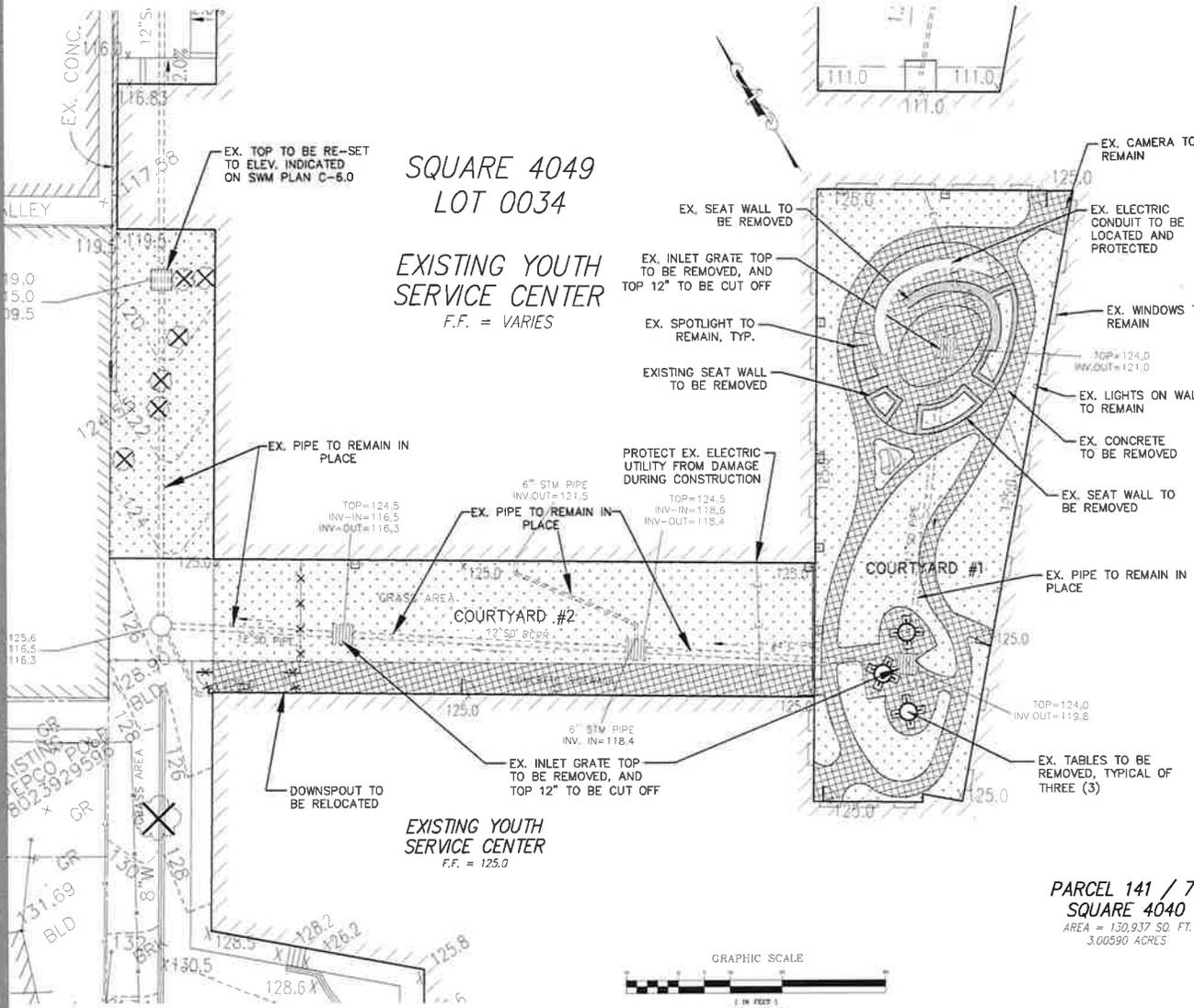
**A01-02**











- LEGEND**
- EXISTING TOPSOIL/GRASS TO BE REMOVED
  - EXISTING WALL TO BE REMOVED
  - EXISTING CONCRETE TO BE REMOVED
  - EXISTING PICNIC TABLE TO BE REMOVED
  - EXISTING TREE TO BE REMOVED
  - EXISTING FENCE TO BE REMOVED
  - EXISTING GATE TO BE REMOVED



**DCS**  
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 www.lancebailey.com

**CONSULTING STRUCTURAL ENGINEER**  
 4800 GARDEN ROAD, NW  
 WASHINGTON, DC 20011  
 TEL: (202) 291-1100 FAX: (202) 291-1101  
 www.lancebailey.com

**AMT**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002  
 TEL: (202) 291-1100 FAX: (202) 291-1101  
 www.amt.com



SUBMISSION SCHEDULE DATE  
 CONSTRUCTION DOCUMENTS SET 9/21/15

REVISION SCHEDULE DATE

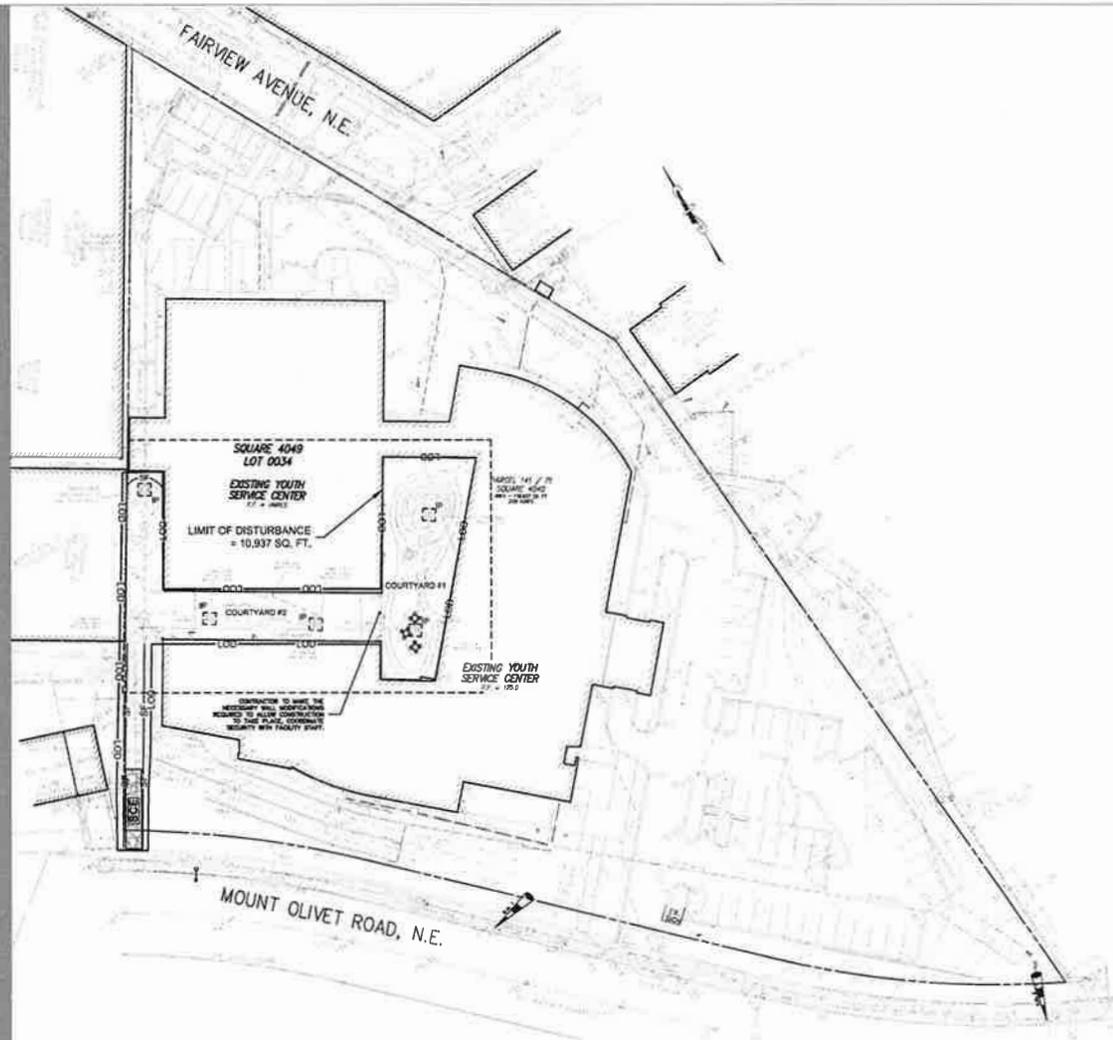
PROJECT:  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**DEMOLITION PLAN**

PROJECT NO: 113-506  
 9/21/2015  
 SCALE: 1 IN. = 10 FT.  
 SHEET NO:

**C-2.0**

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 OR LOG ON TO <http://www.missutility.net>



**MISS UTILITY**  
 48 HOURS BEFORE YOU DIG  
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 OR LOG ON TO <http://www.missutility.net>

**EROSION & SEDIMENT CONTROL NOTES**

1. CONTRACTOR SHALL NOT DISTURB ANY AREA OUTSIDE OF LIMITS OF DISTURBANCE (LOD).
2. CONTRACTOR SHALL CALL THE INSPECTION AND ENFORCEMENT BRANCH, WATERSHED PROTECTION DIVISION, DISTRICT DEPARTMENT OF THE ENVIRONMENT, AT 202-536-2240, FOR A PRE-CONSTRUCTION MEETING, 72 HOURS PRIOR TO THE START OF ANY LAND-DISTURBING ACTIVITY.
3. ALL CONSTRUCTION SHALL BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED SILTATION OR EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY. ALL SILT FENCE (SF) SHALL BE MAINTAINED IN WORKING CONDITION.
4. IF REQUIRED, PROVIDE NEW CHAIN LINK FENCE AROUND THE STAGING AREA FOR THE DURATION OF THIS WORK.
5. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PERIODICALLY SUPPLEMENTED WITH ADDITIONAL STONE, AS NEEDED.
6. CONTROLS CAN BE REMOVED AFTER THEIR CONTRIBUTING AREAS HAVE BEEN PERMANENTLY STABILIZED, AND APPROVAL OF INSPECTOR IS OBTAINED.
7. ALL CONSTRUCTION AND RESTORATION OF PAVEMENT SURFACES WITHIN PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH DDOT STANDARDS AND SPECIFICATIONS.
8. ADDITIONAL SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE SOLE FIELD INSPECTOR.
9. OBTAIN DDOT OCCUPANCY PERMIT PRIOR TO INSTALLING EROSION & SEDIMENT CONTROL MEASURES SHOWN IN PUBLIC SPACE.



VICINITY MAP  
 SCALE: 1"=2000'

**DCB**  
 DISTRICT DEPARTMENT OF GENERAL SERVICES  
 202 AND 1500 ST. SW, 2ND FLOOR  
 WASHINGTON, DC 20004

**URS**  
 LANCE SABLEY & ASSOCIATES  
 1840 BROADWAY, 4TH FLOOR  
 WASHINGTON, DC 20014  
 TEL: (202) 295-7000 FAX: (202) 295-7001  
 WWW: WWW.URS.COM

**CONSULTING STRUCTURAL ENGINEER**  
 CONSULTING STRUCTURAL ENGINEER  
 1000 BENTON RD, SUITE 100  
 WASHINGTON, DC 20004  
 TEL: (202) 295-7000 FAX: (202) 295-7001  
 WWW: WWW.CSSE.COM

**AMT**  
 1000 BENTON RD, SUITE 100  
 WASHINGTON, DC 20004  
 TEL: (202) 295-7000 FAX: (202) 295-7001  
 WWW: WWW.AMT.COM

**STANDARD EROSION AND SEDIMENT CONTROL MEASURES AND SEQUENCE**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, GRADING.
2. PROVIDE WATER SOURCE AND HOSE TO CLEAN ALL EQUIPMENT LEAVING SITE.
3. PROCEED WITH EARTHWORK EXCAVATION AND SITE UTILITIES.
4. NO DISTURBED AREA WILL BE DENURED FOR MORE THAN 7 CALENDAR DAYS. INSTALL NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
5. ALL CONSTRUCTION SHALL BE INSPECTED DAILY BY THE CONTRACTOR, AND ANY DAMAGED EROSION CONTROL DEVICES OR MEASURES WILL BE REPAIRED AT THE CLOSE OF THE DAY.
6. CONSTRUCT REMAINING SITE APPURTENANCES. ALL SILT FENCE SHALL BE MAINTAINED IN WORKING CONDITION.

**SITE TABULATION**  
 LIMITS OF DISTURBANCE = 10,937 SF

- E&S CONTROL LEGEND**
- CONSTRUCTION ENTRANCE
  - LIMITS OF DISTURBANCE
  - SILT FENCE
  - INLET PROTECTION
  - LIMIT OF WORK UNDER THIS PERMIT APPLICATION



SUBMISSION SCHEDULE	DATE
CONSTRUCTION DOCUMENTS SET	9/21/15
REVISION SCHEDULE	DATE

PROJECT:  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

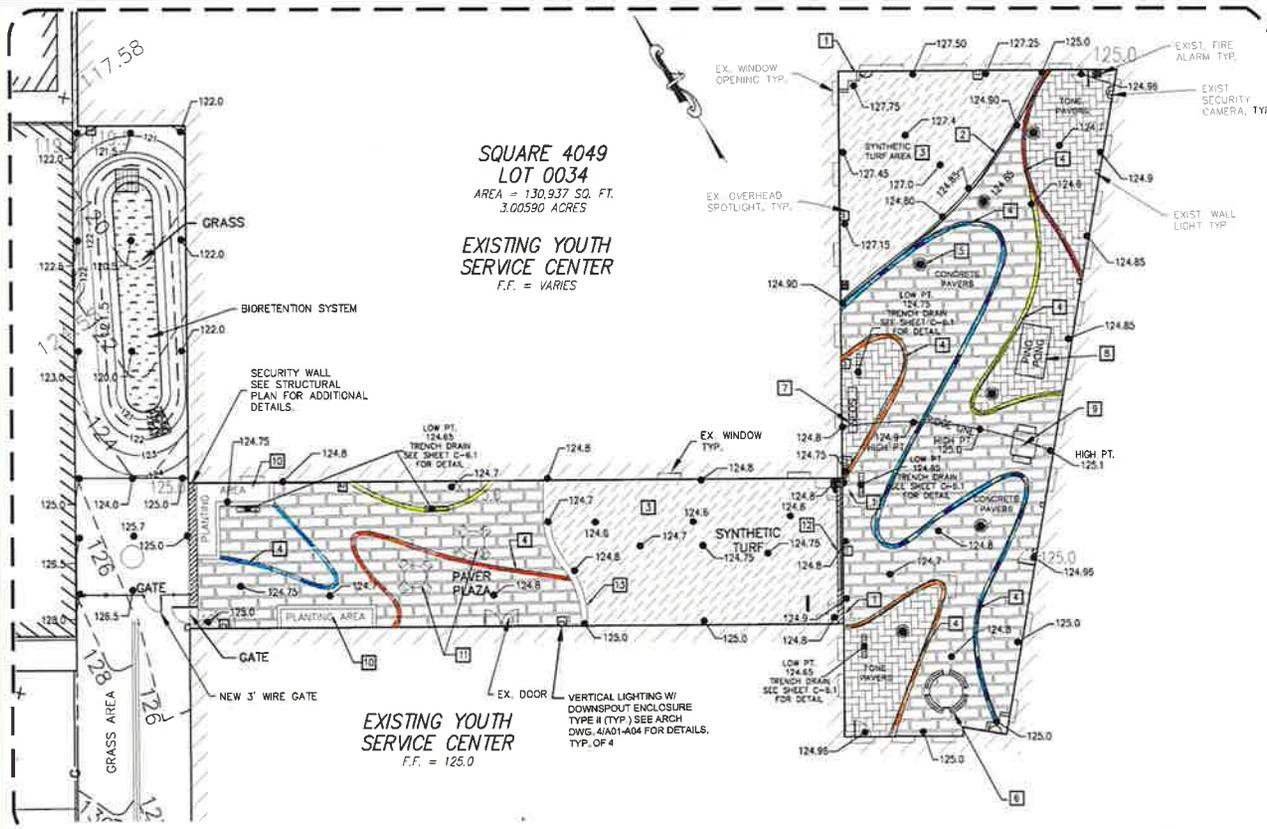
SHEET TITLE:  
**EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 113-506  
 9/21/2015  
 SCALE: 1 IN. = 30 FT.  
 SHEET NO:

**C-3.0**







**SITE DEVELOPMENT PLAN**  
SCALE: 1 IN. = 10 FT.

**SITE PLAN KEYNOTES:**

- 1 WALL EXTRUSION COLOR ACCENT FEATURE - REFER TO ARCHITECTS PLAN FOR DETAILS
- 2 CONCRETE PERIMETER CURB - REFER TO DETAIL ON CIVIL DWG. C-4.1
- 3 SYNTHETIC TURF (STAGE) SURFACE - REFER TO DETAIL ON CIVIL DWG. C-5.1
- 4 CONCRETE EDGING WITH MIXED COLOR HUES TO MATCH INTERIOR POD COLORS
- 5 LIGHT FIXTURE - REFER TO ELECTRIC PLANS FOR ADDITIONAL INFORMATION, TYP. OF 6
- 6 ROUND TABLE FOR 12 PERSONS - REFER TO DETAIL ON CIVIL DWG. C-4.2
- 7 NEOS ELECTRONIC GAME FOR CHILDREN - REFER TO DETAIL ON CIVIL DWG. C-4.2
- 8 PING PONG TABLE, SECURED TO FLOOR - SEE DETAIL ON CIVIL DWG. C-4.2
- 9 GAME TABLE TO BE SECURED TO FLOOR - SEE DETAIL ON CIVIL DWG. C-4.2
- 10 6" CONCRETE PLANTER AREA (SEE DETAIL ON C-4.1)
- 11 ROUND TABLE FOR 4 PERSONS - REFER TO DETAIL ON CIVIL DWG. C-4.2
- 12 SECURITY ROLL UP DOOR
- 13 14" RAISED CONCRETE SEAT WALL (SEE DETAIL ON C-4.1)

**GENERAL NOTES:**

1. CONTRACTOR TO ENGAGE AN UNDERGROUND UTILITY LOCATION SERVICE TO LOCATE, IDENTIFY, AND MARK ALL UNDERGROUND UTILITY LINES PRIOR TO UNDERTAKING ANY EXCAVATIONS.
2. ALL CONCRETE WALK, CURB AND GUTTER SHALL CONFORM TO DDOT STANDARDS AND SPECIFICATIONS.
3. ALL STORM DRAIN WORK AND MATERIALS AND METHODS SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF DCWATER.
4. CONTRACT MISS UTILITY AT 202-265-7177 FOR MARKINGS OF EXISTING UNDERGROUND UTILITIES BEFORE EXCAVATING ANY WORK.
5. CONTRACTOR TO TEST PIT FOR LOCATION AND DEPTH OF EXISTING GAS AND ELECTRIC BEFORE EXCAVATING FOR ANY WORK DEPICTED ON THIS PLAN.
6. SEE THE COVER SHEET FOR ADDITIONAL NOTES THAT APPLY TO THIS PHASE OF WORK.

**REFERENCE NOTES**

1. REFER TO DWG. C-2.0 FOR DEMOLITION.
2. REFER TO DWG. C-3.0 FOR EROSION & SED. CONTROL.
3. REFER TO DWG. C-5.0 FOR UTILITY INFORMATION.
4. REFER TO DWG. C-4.1; C-4.2 FOR SITE DETAILS.
5. REFER TO DWG. C-0.0 FOR OTHER APPLICABLE NOTES

**LEGEND**

- PERMEABLE CONCRETE PAVERS (SIZE OF UNIT)
- SYNTHETIC TURF
- CONCRETE BLOCK WITH - RANDOM SELECTION OF 10%, 30% AND 50% SATURATION
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- CONCRETE EDGING BAND (COLOR)
- PERIMETER CONCRETE CURB
- TRENCH DRAIN - INLET GRATE
- LIGHT - FLUSH WITH GROUND
- SECURITY WALL

**DCS**  
DEPARTMENT OF GENERAL SERVICES  
2000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002  
1-202-725-7177

**LANCIS BAILEY & ASSOCIATES**  
REGISTERED PROFESSIONAL ENGINEER  
1100 17TH ST. N.W.  
WASHINGTON, DC 20036  
1-202-725-7177

**CONSULTING STRUCTURAL ENGINEER**  
REGISTERED PROFESSIONAL ENGINEER  
1100 17TH ST. N.W.  
WASHINGTON, DC 20036  
1-202-725-7177

**GLOBAL ENGINEERING SOLUTION**  
REGISTERED PROFESSIONAL ENGINEER  
1100 17TH ST. N.W.  
WASHINGTON, DC 20036  
1-202-725-7177

**CONTRACTOR**  
REGISTERED PROFESSIONAL ENGINEER  
1100 17TH ST. N.W.  
WASHINGTON, DC 20036  
1-202-725-7177

**ENGINEER'S CERTIFICATE**

SUBMISSION SCHEDULE DATE  
CONSTRUCTION DOCUMENTS SET 9/21/15

REVISION SCHEDULE DATE

PROJECT:  
**DYRS-YOUTH SERVICES  
CENTER COURTYARD  
RENOVATIONS**

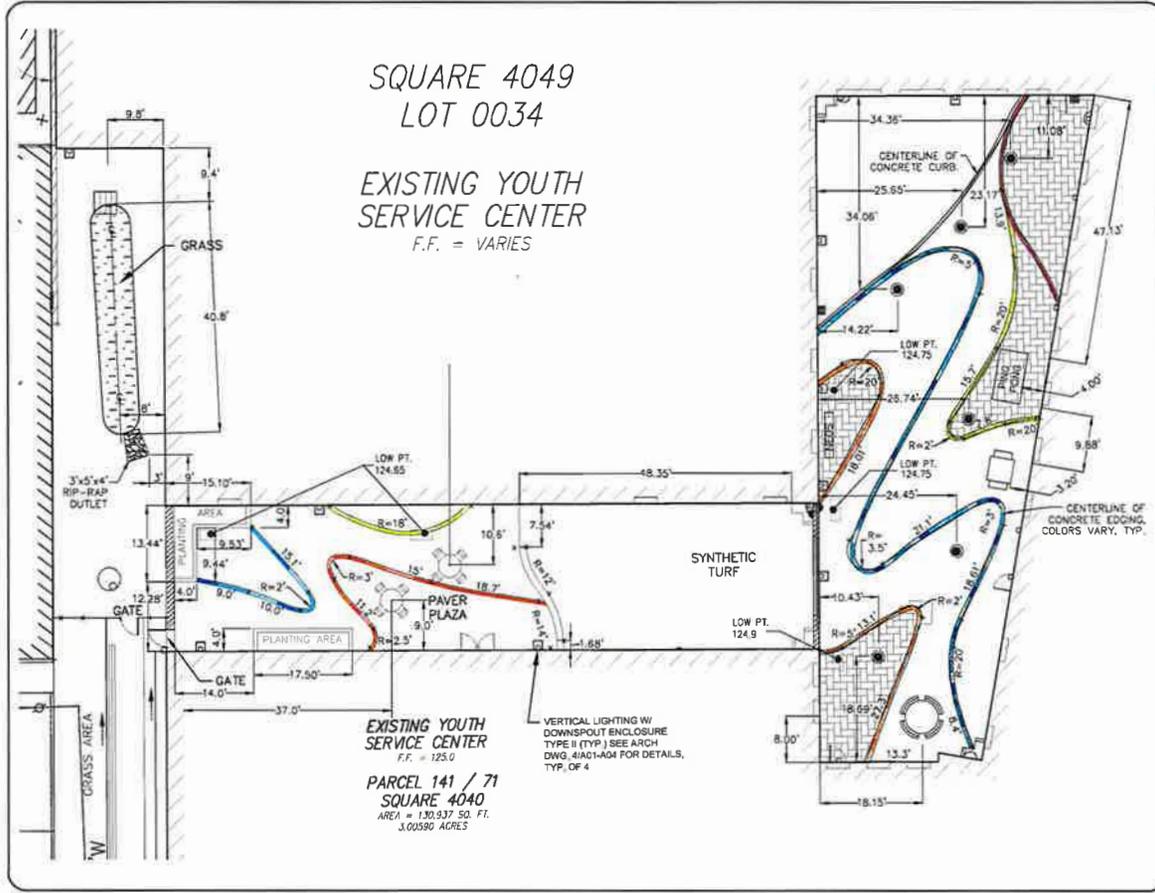
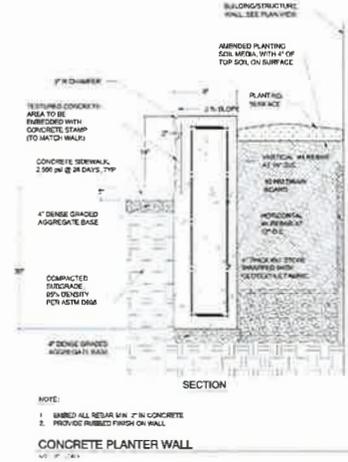
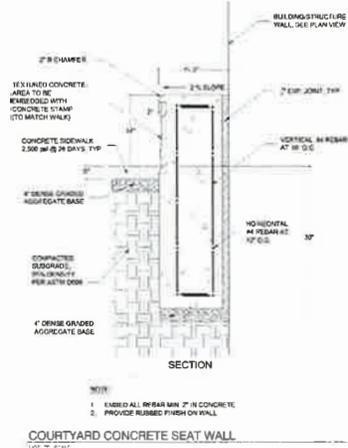
1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:

**SITE DEVELOPMENT PLAN**  
PROJECT NO: 113-506  
9/21/2015  
SCALE: 1 IN. = 10 FT.  
SHEET NO:

**C-4.0**

**MISS UTILITY**  
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OR LOG ON TO <http://www.missutility.net>



2-D SET  
**508**  
 DGS (DEPARTMENT OF GENERAL SERVICES)  
 200 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002  
 1-800-452-4343

**ENGINEER'S CERTIFICATE**  
  
 JAMES M. ...  
 PROFESSIONAL ENGINEER  
 CIVIL  
 STATE OF GEORGIA  
 LICENSE NO. ...

**SUBMISSION SCHEDULE**      DATE  
 CONSTRUCTION DOCUMENTS SET    9/21/15

**REVISION SCHEDULE**      DATE

**PROJECT:**  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

**SHEET TITLE:**  
**SITE GEOMETRIC LAYOUT PLAN AND DETAILS**

**PROJECT NO.:** 113-506  
 9/21/2015  
**SCALE:** 1 IN. = 10 FT.  
**SHEET NO.:**

**MISS UTILITY**  
 48 HOURS BEFORE YOU DIG  
 CALL "MISS UTILITY" AT 202-265-7177 OR 811  
 OR LOG ON TO <http://www.missutility.net>

**C-4.1**



**NEOS ROUND TABLE**

NOT TO SCALE

Neos Electronic Game:

Product: ROUND TABLE

Available From:  
 Playworld Systems Inc.  
 1000 Buffalo Rd.  
 Lewisburg, PA 17837  
 Ph: 570-522 9800

Notes:

1. Or approved equal
2. Install per manufacturers recommendations



**NEOS ELECTRONIC GAME**

NOT TO SCALE

Neos Electronic Game:

Product: Electronic Wall

Available From:  
 Playworld Systems Inc.  
 1000 Buffalo Rd.  
 Lewisburg, PA 17837  
 Ph: 570-522 9800

Notes:

1. Or approved equal
2. Install per manufacturers recommendations



**CONCRETE PING PONG TABLE**

NOT TO SCALE

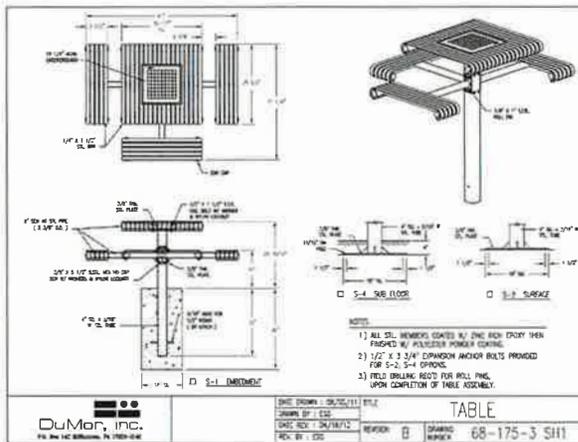
Product: Concrete Table Tennis

Available From:

Browdo Outdoor Products LLC  
 1156 Echo Dr.  
 Roseburg, OR 97470  
 Ph: 541-573-0836

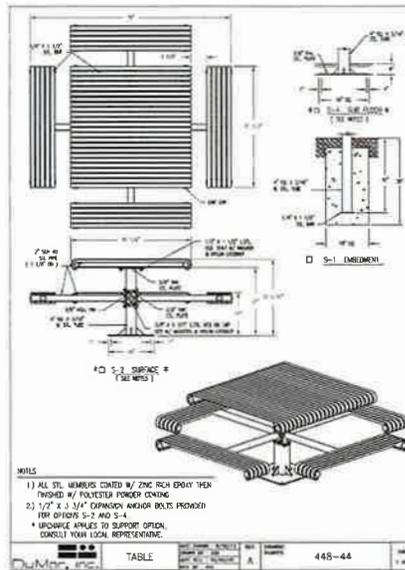
Notes:

1. Or approved equal
2. Install per manufacturers recommendations



**OUTDOOR GAME TABLE**

NOT TO SCALE



**LARGE OUTDOOR SEATING TABLE**

NOT TO SCALE

**DGS (DEPARTMENT OF GENERAL SERVICES)**  
 2001 11th Street NW, 4th Floor  
 Washington, DC 20036

**LANCE BAILEY & ASSOCIATES**  
 1150 17th St NW  
 Washington, DC 20036  
 Tel: (202) 293-1100

**CONSULTING STRUCTURAL ENGINEER**  
 1150 17th St NW  
 Washington, DC 20036  
 Tel: (202) 293-1100

**GLOBAL ENGINEERING SOLUTION**  
 1150 17th St NW  
 Washington, DC 20036  
 Tel: (202) 293-1100

**AMT**  
 1150 17th St NW  
 Washington, DC 20036  
 Tel: (202) 293-1100

**ENGINEER'S CERTIFICATE**



SUBMISSION SCHEDULE	DATE
CONSTRUCTION DOCUMENTS SET	8/21/15
REVISION SCHEDULE	DATE

PROJECT:  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**

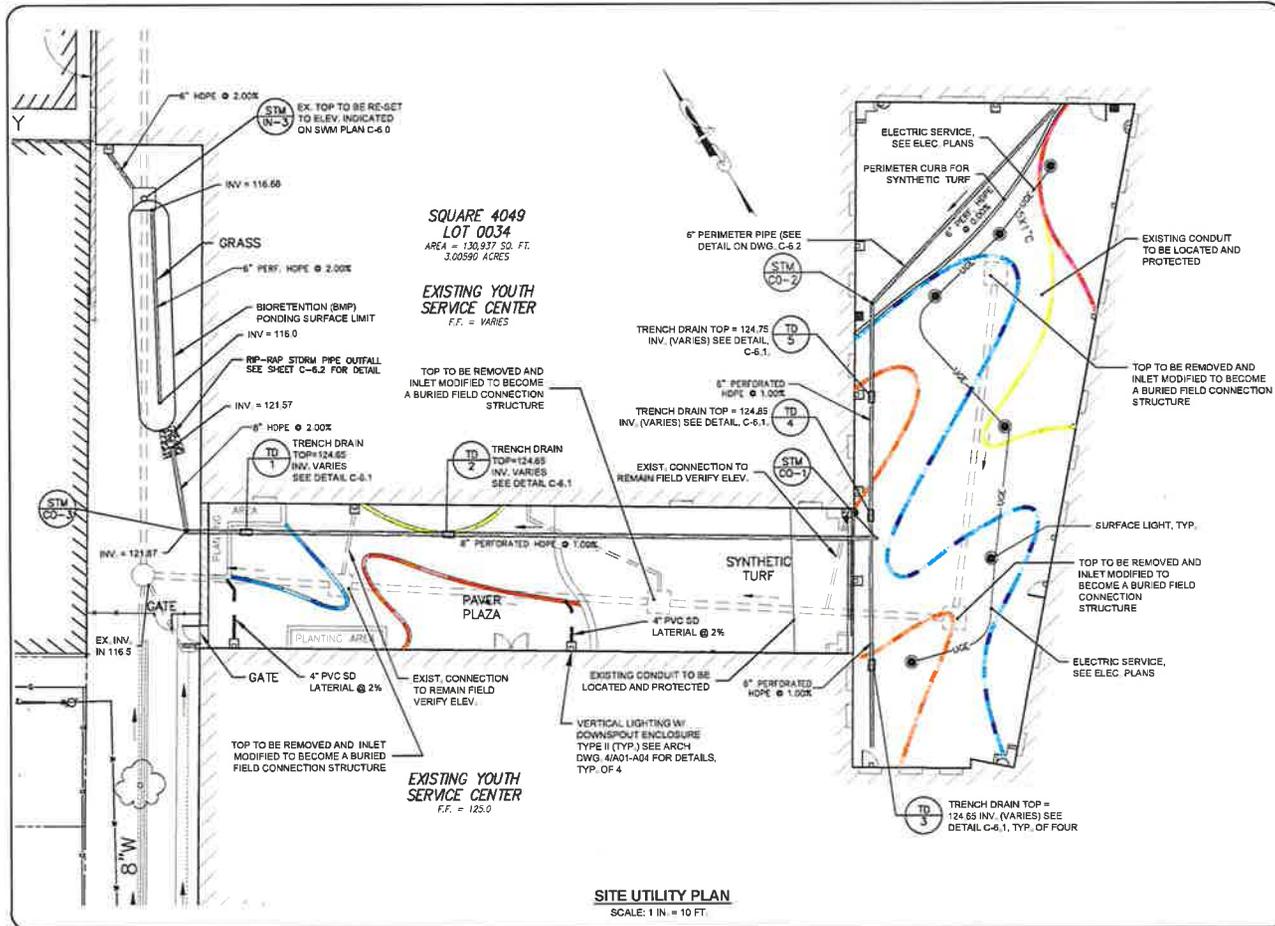
1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**HARDSCAPE DETAILS**

PROJECT NO: 113-506  
 9/21/2015  
 SCALE: N/A  
 SHEET NO:

**C-4.2**

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 OR LOG ON TO <http://www.missutility.net>

DCS (DEPARTMENT OF GENERAL SERVICES)  
 2001 H STREET, N.W.  
 WASHINGTON, DC 20036

LANCE BAILEY & ASSOCIATES  
 700 CONNOR AVENUE, NW  
 WASHINGTON, DC 20001  
 1 (202) 547-7000 FAX 1 (202) 547-7001

CONSULTING STRUCTURAL ENGINEERS  
 PROFESSIONAL ENGINEERS  
 1001 PENNINGTON AVENUE, N.W.  
 WASHINGTON, DC 20004  
 1 (202) 638-1100 FAX 1 (202) 638-1101

GLOBAL ENGINEERING SOLUTIONS  
 1100 PENNINGTON AVENUE, N.W.  
 WASHINGTON, DC 20004  
 1 (202) 638-1100 FAX 1 (202) 638-1101

AMT  
 1100 PENNINGTON AVENUE, N.W.  
 WASHINGTON, DC 20004  
 1 (202) 638-1100 FAX 1 (202) 638-1101

ENGINEER'S CERTIFICATE

SUBMISSION SCHEDULE DATE  
 CONSTRUCTION DOCUMENTS SET 9/21/15

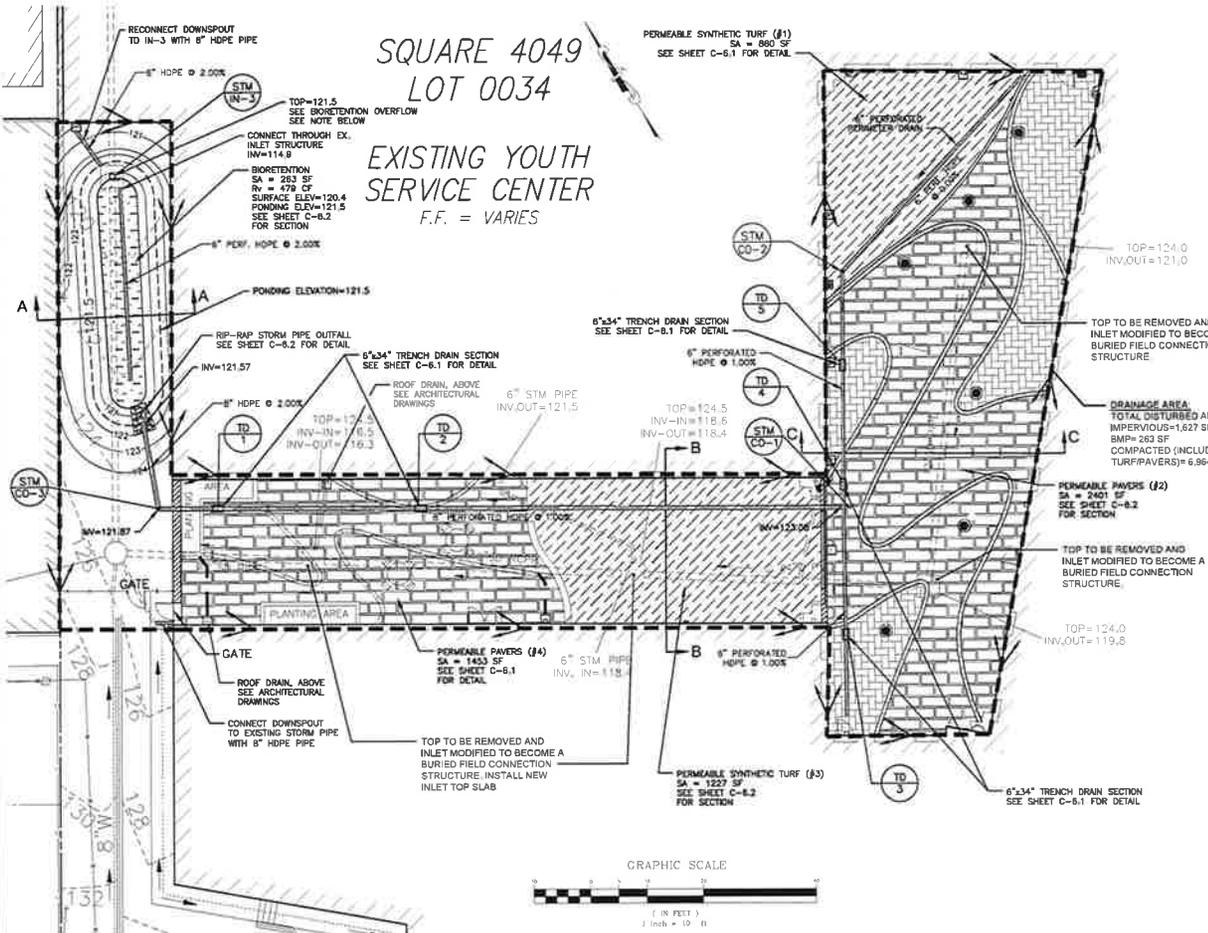
REVISION SCHEDULE DATE

PROJECT:  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**SITE UTILITY PLAN**

PROJECT NO: 113-506  
 9/21/2015  
 SCALE: 1 IN. = 10 FT.  
 SHEET NO:  
**C-5.0**



SQUARE 4049  
LOT 0034  
EXISTING YOUTH  
SERVICE CENTER  
F.F. = VARIES



**BIORETENTION OVERFLOW NOTE:**  
REPLACE THE EXISTING INLET GRATE/SM WITH A SOLID CONCRETE CAP WITH A 1\"/>

**STORMWATER MANAGEMENT:**  
THIS PROJECT WILL BE UNDER 2013 STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL REGULATIONS FOR THE DC DEPARTMENT OF ENERGY AND ENVIRONMENT (DCEE) REGULATIONS. THIS PROJECT WILL BE A MAJOR LAND DISTURBANCE ACTIVITY. THEREFORE, THE SITE HAS A RETENTION REQUIREMENT FOR THE FIRST 1.75\"/>

**STATEMENT BY PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA**  
THIS IS TO CERTIFY THAT THE ENGINEERING FEATURES OF ALL STORMWATER BEST MANAGEMENT PRACTICES (BMPs), STORMWATER INFRASTRUCTURE, AND LAND COVERS (COLLECTIVELY THE FACILITY) HAVE BEEN OBSERVED, EXAMINED BY ME AND FOUND TO BE IN CONFORMITY WITH MODERN ENGINEERING PRINCIPLES APPLICABLE TO THE TREATMENT AND DISPOSAL OF STORMWATER POLLUTANTS. I FURTHER CERTIFY THAT THE FACILITY HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATION REQUIRED UNDER CHAPTER 5 OF TITLE 21 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS. IT IS ALSO STATED THAT THE ENGINEER HAS FURNISHED THE APPLICANT WITH A SET OF INSTRUCTIONS FOR MAINTENANCE AND OPERATION OF THE SITE'S FACILITY.

**SIGNATURE OF THE ENGINEER**  
MPL, LLC  
NAME AND TITLE (PLEASE TYPE)  
TO: C STREET, NE SUITE 400  
ADDRESS  
WASHINGTON, DC 20002  
DATE: 09/27/2015 (09) 288-4549

**STATEMENT BY PERSON RESPONSIBLE FOR MAINTENANCE**  
THE UNDERSIGNED AGREES TO MAINTAIN AND OPERATE THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs), STORMWATER INFRASTRUCTURE, AND LAND COVERS IN SUCH A MANNER AS TO COMPLY WITH THE PROVISIONS OF 23 CODE CHAPTER 5. RESPONSIBILITY FOR MAINTENANCE AND OPERATION WILL BE TRANSFERRED TO AGENCY (ONLY) UPON WRITTEN NOTICE TO THE RELEVANT PROFESSIONAL DIVISION OF THE DISTRICT DEPARTMENT OF THE ENVIRONMENT FROM THE UNDERSIGNED AND THE ENTRY ACKNOWLEDGING RESPONSIBILITY. CERTIFYING THAT THE TRANSFER OF RESPONSIBILITY FOR MAINTENANCE AND OPERATION IS IN COMPLIANCE WITH CHAPTER 5 OF TITLE 21 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS HAS BEEN RECEIVED.

**SIGNATURE OF PERSON RESPONSIBLE FOR MAINTENANCE**  
NAME AND TITLE (PLEASE TYPE)  
ADDRESS  
DATE: PHONE NO.

**AS-BUILT CERTIFICATION BY PROFESSIONAL ENGINEER**  
WITHIN 21 DAYS AFTER COMPLETION OF CONSTRUCTION OF ALL STORMWATER BEST MANAGEMENT PRACTICES (BMPs), STORMWATER INFRASTRUCTURE, AND LAND COVERS (COLLECTIVELY THE FACILITY), PLEASE SEND THIS PAGE TO THE MATCHED PROTECTION DIVISION OF THE DISTRICT DEPARTMENT OF THE ENVIRONMENT.

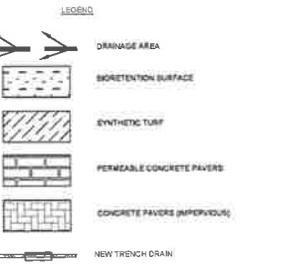
**1. FACILITY INFORMATION:**  
SOURCE NAME:  
SOURCE LOCATION STREET:  
CITY:  
DCRA PERMIT NO.:  
DATE ISSUED:

**2. AS-BUILT CERTIFICATION:**  
I HEREBY CERTIFY THAT ALL STORMWATER BEST MANAGEMENT PRACTICES, STORMWATER INFRASTRUCTURE, AND LAND COVERS (COLLECTIVELY THE FACILITY) HAVE BEEN BUILT SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT ANY DEVIATIONS NOTED BELOW WILL NOT PREVENT THE SYSTEM FROM FUNCTIONING IN COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 5 OF TITLE 21 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS WHICH PROPERLY MAINTAINING AND OPERATING. THESE DETERMINATIONS HAVE BEEN BASED UPON ON-SITE INSPECTION OF CONSTRUCTION PROCEDURES AND CONDUCTED BY ME OR BY A PROJECT REPRESENTATIVE UNDER MY DIRECT SUPERVISION. I HAVE ENCLOSED ONE SET OF AS-BUILT ENGINEERING DRAWINGS.

**SIGNATURE OF THE ENGINEER** NAME (PLEASE TYPE) D.C. REG. NO.

**COMPANY NAME:**  
**COMPANY ADDRESS:**  
**DATE:** **TELEPHONE:**

SUBSTANTIAL DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS (ATTACH ADDITIONAL SHEETS IF REQUIRED)



**PROJECT:**  
2-2-15  
D-15  
DCS (DC DEPARTMENT OF GENERAL SERVICES)  
2000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

**PREPARED BY:**  
LANE BAILEY & ASSOCIATES  
1400 G STREET, NW  
WASHINGTON, DC 20004  
710.241.7100 ext. 200

**CONSULTING STRUCTURAL ENGINEER**  
1400 G STREET, NW  
WASHINGTON, DC 20004  
710.241.7100 ext. 200

**ELECTRICAL ENGINEER**  
GLOBAL ENGINEERING SOLUTION  
1400 G STREET, NW  
WASHINGTON, DC 20004  
710.241.7100 ext. 200

**AMT**  
1400 G STREET, NW  
WASHINGTON, DC 20004  
710.241.7100 ext. 200



**SUBMISSION SCHEDULE** DATE  
CONSTRUCTION DOCUMENTS SET 9/21/15

**REVISION SCHEDULE** DATE

**PROJECT:**  
DYRS-YOUTH SERVICES  
CENTER COURTYARD  
RENOVATIONS

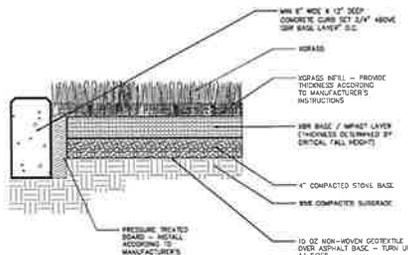
1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

**SHEET TITLE:**  
STORMWATER MANAGEMENT  
PLAN

**PROJECT NO:** 113-506  
9/21/2015  
SCALE: AS SHOWN  
SHEET NO:

**C-6.0**

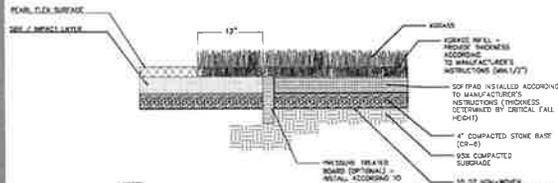
**MISS UTILITY**  
48 HOURS BEFORE YOU DIG  
CALL "MISS UTILITY" AT 202-265-7177 OR 811  
OR LOG ON TO <http://www.missutility.net>



**NOTES:**

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
3. CONTRACTOR SHALL INSTALL XGRASS CROSS SECTION THICKNESS FOR ALL AREAS PER MANUFACTURER'S DESIGN TO MEET THE REQUIREMENTS FOR THE PLAY EQUIPMENT WITH THE HIGHEST CRITICAL FALL HEIGHT

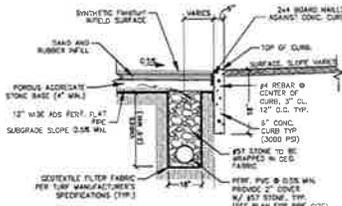
**XGRASS SYNTHETIC TURF SURFACE AND TRANSITION**  
NOT TO SCALE



**NOTES:**

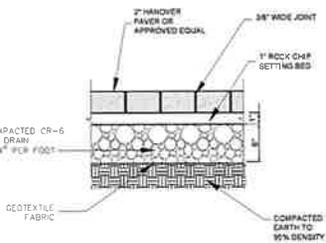
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS
3. CONTRACTOR SHALL INSTALL XGRASS CROSS SECTION THICKNESS FOR ALL AREAS PER MANUFACTURER'S DESIGN TO MEET THE REQUIREMENTS FOR THE PLAY EQUIPMENT WITH THE HIGHEST CRITICAL FALL HEIGHT

**XGRASS SYNTHETIC TURF SURFACE AND TRANSITION**  
NOT TO SCALE

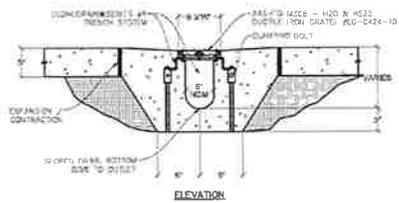


GENERAL NOTE: FOR LOCATION OF PERIMETER DRAIN FOR EACH COURTYARD AREA SHALL BE INSTALLED PER THE STORMWATER PLAN. THIS IS GENERIC DETAIL.

**TYPICAL PERIMETER DRAIN SECTION A-A'**  
NOT TO SCALE



**PERMEABLE PAVING OVER AGGREGATE**  
NOT TO SCALE



**NOTE:**

1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. ACID PREPAR AS REQUIRED
3. STANDARD CHANNEL LENGTH IS (6'-0\"/>
- 4. STANDARD CHANNEL SLOPE IS 0.5%

**FINISH SPECIFICATIONS:**

1. GRATE FRAME: BLACK PAINT - STANDARD
2. DUCTILE IRON GRATE: #EG-024-101-ADA ADA COMPLIANT

**TRENCH DRAIN DETAIL**  
NOT TO SCALE

**MINIMUM RECOMMENDED COVER BASED ON VEHICLE TRAFFIC CONDITIONS**

PIPE DIAM.	MIN. COVER	MIN. COVER
4"	12"	12"
6"	18"	18"
8"	24"	24"
10"	30"	30"
12"	36"	36"
14"	42"	42"
16"	48"	48"
18"	54"	54"
20"	60"	60"

**MINIMUM RECOMMENDED COVER BASED ON PEDESTRIAN TRAFFIC CONDITIONS**

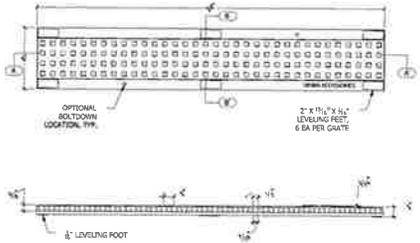
PIPE DIAM.	MIN. COVER
4"	6"
6"	9"
8"	12"
10"	15"
12"	18"
14"	21"
16"	24"
18"	27"
20"	30"

**MINIMUM COVER: MINIMUM COVER: H = NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GRADE SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLUXION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER: H = 8" UP TO 4" DIAMETER PIPE AND 20" OF COVER FOR 6" UP DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.**

**MINIMUM COVER: MINIMUM COVER: H = NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GRADE SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLUXION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER: H = 8" UP TO 4" DIAMETER PIPE AND 20" OF COVER FOR 6" UP DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.**

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**PIPE TRENCH DETAIL**  
NOT TO SCALE



**TRENCH DRAIN GRATE**  
NOT TO SCALE

**NOTES:**

1. PROVIDE ADA ACCESSIBLE URBAN ACCESSORIES TRENCH DRAIN OR APPROVED EQUAL.

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F: (202) 265-7178  
WWW.GESOLUTION.COM

**ENGINEER'S CERTIFICATE**

I hereby certify that the design of the above project was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Maryland.

*Kyle Cooper*  
KYLE COOPER, P.E.  
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SUBMISSION SCHEDULE	DATE
CONSTRUCTION DOCUMENTS SET	8/21/15

REVISION SCHEDULE	DATE

**PROJECT:**  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**

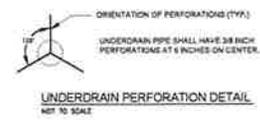
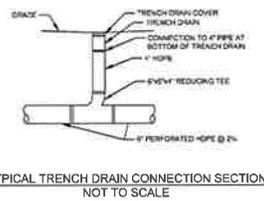
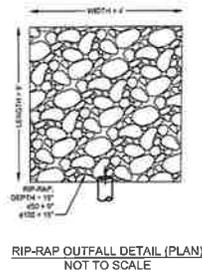
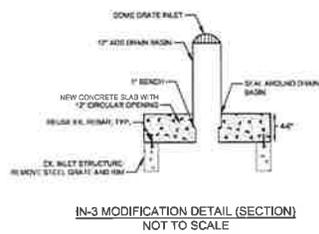
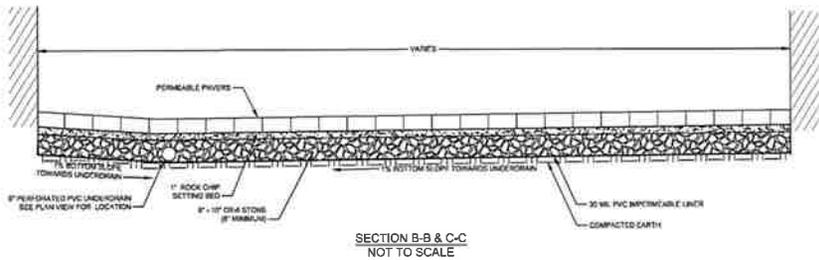
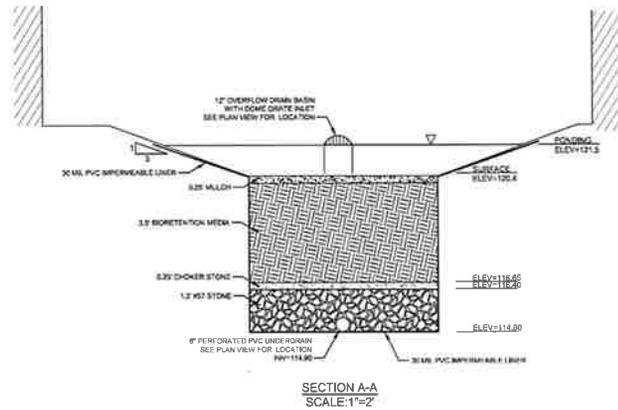
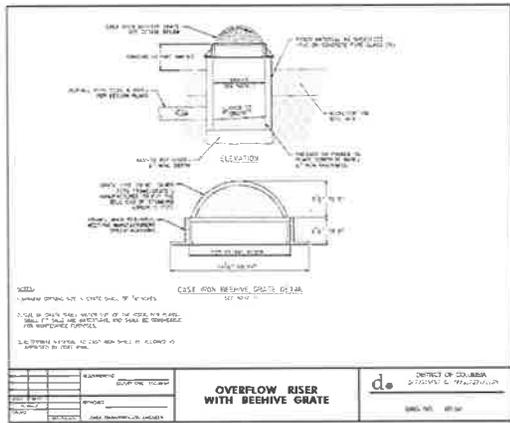
1100 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

**SHEET TITLE:**  
**STORMWATER MANAGEMENT DETAILS**

**PROJECT NO:** 113-506  
**9/21/2015**  
**SCALE:** N/A  
**SHEET NO:**

**C-6.1**

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**BAILEY**  
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SUBMISSION SCHEDULE	DATE
CONSTRUCTION DOCUMENTS SET	9/21/15
REVISION SCHEDULE	DATE

PROJECT:  
**DYRS-YOUTH SERVICES CENTER COURTYARD RENOVATIONS**  
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SHEET TITLE:  
**STORMWATER MANAGEMENT DETAILS**

PROJECT NO: 113-506  
 9/21/2015  
 SCALE: N/A  
 SHEET NO:



Bioretention	
<b>Step 1: Define the Drainage Area</b>	
Total Drainage Area (DA) =	8254 SF
Total Impervious Area (IA) =	3390 SF = 41.08%
Impervious Area Vehicle Access (IA <sub>v</sub> ) =	
Total Compacted Cover Area (A <sub>c</sub> ) =	6701 SF = 81.19%
Total Natural Cover Area (A <sub>n</sub> ) =	0 SF = 0.00%
<b>STEP 2: Calculate Maximum Stormwater Retention Volume (SWRV)</b>	
Maximum Storm Depth (P) =	1.7 in.
Target SWRV =	492 CF = 3678 GAL
<b>STEP 3: Calculate Storage Volume Provided</b>	
Facility Surface Area, SA =	263 SF
Depth of Media (d <sub>media</sub> ) =	3.5 FT
Max. Allowed Media Depth =	5.5 FT
Depth of Gravel (d <sub>gravel</sub> ) =	1.5 FT
Subsurface Storage =	388 CF
Depth of Ponding =	1.00 FT
Ponding Storage =	411 CF
Storage Volume Provided (S <sub>v</sub> ) =	799 CF = 5976 GAL
Will Underdrains be Provided =	YES
<b>SWRV Credit =</b>	<b>479 CF = 3586 GAL</b>

BIORETENTION CALCULATIONS

Site Address	1800 Mount Olivet Road NE	Plan number	4884
Stormwater Management Plan?	Yes	Green Area Ratio?	No - GAR does not apply to this property
Soil Erosion and Sediment Control?	Yes	Floodplain Review?	No
Type of Activity	Major Land Disturbing	AWD??	Non-AWD site located within AWOC boundaries
Is the entire site in the CSZ?	Yes		

Total Area (d)	Site Area	PROW	Curve Numbers
Natural	0		<input type="checkbox"/> Detention requirements calculated with rational method?
Compacted	6,064	6,364	Pre-development 70 2-year storm adjusted CN
Impervious	1,627	1,627	Pre-project 0 15-year storm adjusted CN
BMP	263	263	100-year storm adjusted CN
Total	8,854	8,854	

Requirements Summary	Total (ft)	Partial (ft)	Total (ft)	Total (Gallons)
SWRV	354	254	2,645	
WDTv	0	0	0	
On-site retention achieved	479	479	3,536	
On-site treatment achieved	22	22	162	
% of SWRV met on-site	136%	135.56%	135.56%	
SBC eligibility (all numbers in gallons)				941
Offr				0

STORMWATER MANAGEMENT PLAN COMPLIANCE DATA

Site Drainage Area ID	Public Right of Way	Total Area (Square Feet)	Natural (Square Feet)	Compacted (Square Feet)	Impervious (Square Feet)	BMP (Square Feet)	Vegetative Areas (Square Feet)	SWRV (Cubic Feet)	WDTv (Cubic Feet)	Volume retained (Cubic Feet)	Volume treated (Cubic Feet)	2-year storm adjusted Curve Number	15-year storm adjusted Curve Number	100-year storm adjusted Curve Number	Compliant
8254-1	L1	8,854		6,064	1,627	263	754	479	22						N/A

SITE DRAINAGE AREA COMPLIANCE DATA

**DRAW-DOWN CALCULATIONS**

$t = (d \times 100) / i$   
 $t =$  MAXIMUM DRAWDOWN TIME (days)  
 $d =$  DEPTH OF RESERVOIR LAYER (ft)  
 $i =$  VOID RATIO  
 $i =$  INFILTRATION RATE (ft/day)  
 $i = 3 \text{ in/hr} \times 1 \text{ ft}/12 \text{ in} \times 24 \text{ hr/day} = 6 \text{ ft/day}$   
 $t = (1,486 \div 6) / 6 = 0.165 \text{ days} \times 24 \text{ hr/day} = 4 \text{ hr}$

BMP ID number	Type	Total CSR (Square Feet)	Natural (Square Feet)	Compacted (Square Feet)	Impervious (Square Feet)	BMP (Square Feet)	Total Post-project vegetative area	Volume retained from upstream BMP (Cubic Feet)	Max. volume retained by BMP (Cubic Feet)	Storage volume (Cubic Feet)	Retention contribution (Cubic Feet)	Volume retained (Cubic Feet)	Volume treated (Cubic Feet)	Drawdown BMP ID
8254-1	Traditional bioretention standard	8,854		6,064	1,627	263			501	799	100% of Storage Volume	479	22	

SITE BMP COMPLIANCE DATA



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ENGINEER'S CERTIFICATE



SUBMISSION SCHEDULE DATE  
 CONSTRUCTION DOCUMENTS SET 8/21/15

REVISION SCHEDULE DATE

PROJECT:

**DYRS-YOUTH SERVICES  
 CENTER COURTYARD  
 RENOVATIONS**

1000 MOUNT OLIVET ROAD, NE  
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SHEET TITLE:  
**STORMWATER MANAGEMENT  
 CALCULATIONS**

PROJECT NO: 113-506

8/21/2015

SCALE: N/A

SHEET NO:

**C-6.3**

**DOCK STORMWATER MANAGEMENT GUIDEBOOK BIODIVERSITY SPECIFICATIONS**  
**DOCK PERMEABLE PAVEMENT CRITERIA & CONSTRUCTION SPECIFICATIONS**

**3.5.5 Permeable Pavement Landscaping Criteria**

Permeable pavement does not have any landscaping needs associated with it. However, landscape permeable pavement applications should be carefully planned to preserve the typical hydrologic function of a parking lot, such as to store and absorb, as a means to maintain runoff treatment and minimize the risk that sediment, such as grass clippings, leaves, snow, and rain will inadvertently clog the paving surface. Stormwater areas (see Section 3.6 Stormwater) may be a good design option to meet these needs.

**3.5.6 Permeable Pavement Construction Sequence**

Experience has shown that proper installation is absolutely critical to the effective operation of a permeable pavement system.

**Soil Erosion and Sediment Control:** The following soil erosion and sediment control practices may be followed during construction:

- All permeable pavement areas shall be fully protected from sediment erosion by soil fence or construction fencing, particularly if they are intended to utilize runoff.
- Permeable pavement areas intended to utilize runoff must remain outside the limit of disturbance along construction to prevent soil compaction by heavy equipment and loss of design infiltration rate. In this case, when heavy equipment must be used, the area shall be covered with a geotextile fabric to prevent soil compaction. Where it is not possible to keep the proposed permeable pavement area outside of the limit of disturbance, there are several possible options for the impacted area:
  - If excavation is the proposed permeable pavement area can be restricted then remediation can be achieved with deep tillage practices. This is only possible if all soil soils are not disturbed any deeper than 2 feet above the final design elevation of the bottom of the aggregate reservoir course. In this case, when heavy equipment activity has occurred, the area is excavated to grade and the proposed area must be filled to a depth of 12 inches below the bottom of the reservoir layer.
  - Alternatively, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted cannot be used, then infiltration tests will be required prior to installation of the permeable pavement to ensure that the design infiltration rate is still present. If tests reveal the loss of design

**DOCK PERMEABLE PAVEMENT MAINTENANCE CRITERIA**

**3.5.7 Permeable Pavement Maintenance Criteria**

Maintenance is a required and critical element to ensure the long-term performance of permeable pavement. The most frequently cited maintenance problem is surface clogging caused by organic matter and sediment. Periodic street sweeping will remove accumulated sediment and help prevent clogging; however, it is also critical to ensure that surrounding land areas remain stabilized.

The following tasks must be avoided on ALL permeable pavements:

- Staking
- Re-sending
- Re-surfacing
- Power washing
- Storage of excess piles (concrete) used
- Storage of much on soil materials
- Construction staging on unprotected pavement

It is difficult to prescribe the specific types or frequency of maintenance tasks that are needed to maintain the hydrologic function of permeable pavement systems over time. The frequency of maintenance will depend largely on the pavement use, traffic loads, and the surrounding land use.

One permeable pavement task for large-scale applications (e.g., parking lots) involves vacuum sweeping on a frequency consistent with the use and loading conditions on the site.

vacuum sweeping can then deep tillage practices may be used in an effort to restore those sites. In this case further testing must be done to establish design rates must before the permeable pavement can be installed.

- Finally, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the SWMP will be required.
- Permeable pavement areas must be clearly marked on all construction documents and grading plans.
- During construction, care should be taken to not track sediment onto any permeable pavement surface to avoid any construction cleanup and long term maintenance issues.
- Any area of the site intended ultimately to be a permeable pavement area with an infiltration component must not be used as the site of a temporary sediment trap or basin. If because a temporary sediment trap or basin on an area intended for permeable pavement is unavoidable, the success is parallel to those discussed for heavy equipment compaction.
- If it is possible restrict the area of the sediment trap or basin at least 1 foot above the final design elevation of the bottom of the aggregate reservoir course of the proposed permeable pavement then remediation can be achieved with proper removal of trapped sediment and deep tillage practice.
- An alternative approach to deep tillage is to use an impermeable liner to protect the soil with from sedimentation while the sediment trap or basin is in use.
- In each case, all sediment deposited in the excavated area must be carefully removed prior to installing the site-use liner and surface treatment. The plan must also show the proper procedures for covering the temporary sediment control practice to a permeable pavement BMP, including deep cleaning, erosion, and stabilization.

**DOCK BIODIVERSITY MATERIAL SPECIFICATIONS**

Soil Media Criteria	Description	Standards
General Categories	Topsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.	Topsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.
Depth	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.
Depth	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.
Depth	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.	Subsoil: soil that is the product of weathering of rock, from the surface of the earth, and is suitable for agricultural or other uses.

**Table 3.12: Typical Maintenance Tasks for Permeable Pavement Practices**

Frequency	Maintenance Tasks
After installation	For the first 6 months following installation, the practice and CD's should be inspected at least twice after the site is such that exceed 1 inch of rainfall. Conduct an annual review at installation.
As needed	• Monitor grass or plant cover applications • Stabilize the CD's as per permit • Remove any soil or sediment deposited on pavement • Replace or repair any permeable surface that is degrading or failing
1-2 times per year (depending on climate)	• Conduct a visual inspection of the permeable pavement surface to ensure that it is free of debris and sediment • Conduct a visual inspection of the permeable pavement surface to ensure that it is free of debris and sediment
Once every 2-3 years	• Perform an annual maintenance inspection to ensure that the permeable pavement surface is free of debris and sediment
If clogged	• Conduct maintenance using a representative soil cover or vacuum sweep • Replace any necessary soil material

Many experts consider an annual dry-weather sweeping in the spring months to be important. The contract for sweeping should specify that a vacuum sweeper be used that does not use water spray, since spraying can lead to subsurface clogging. Typical maintenance tasks are outlined in Table 3.15

**Table 3.16: Typical Maintenance Tasks for Permeable Pavement Practices**

Frequency	Maintenance Tasks
After installation	For the first 6 months following installation, the practice and CD's should be inspected at least twice after the site is such that exceed 1 inch of rainfall. Conduct an annual review at installation.
As needed	• Monitor grass or plant cover applications • Stabilize the CD's as per permit • Remove any soil or sediment deposited on pavement • Replace or repair any permeable surface that is degrading or failing
1-2 times per year (depending on climate)	• Conduct a visual inspection of the permeable pavement surface to ensure that it is free of debris and sediment • Conduct a visual inspection of the permeable pavement surface to ensure that it is free of debris and sediment
Once every 2-3 years	• Perform an annual maintenance inspection to ensure that the permeable pavement surface is free of debris and sediment
If clogged	• Conduct maintenance using a representative soil cover or vacuum sweep • Replace any necessary soil material

**DOCK STORMWATER MANAGEMENT GUIDEBOOK BIODIVERSITY SPECIFICATIONS**  
**DOCK BIODIVERSITY CONSTRUCTION SPECIFICATIONS**

**3.6A Erosion and Sediment Control**

The following soil erosion and sediment control practices may be followed during construction:

- All stormwater areas must be fully protected from sediment erosion by soil fence or construction fencing, particularly if they are intended to utilize runoff.
- Permeable pavement areas intended to utilize runoff must remain outside the limit of disturbance along construction to prevent soil compaction by heavy equipment and loss of design infiltration rate. In this case, when heavy equipment must be used, the area shall be covered with a geotextile fabric to prevent soil compaction. Where it is not possible to keep the proposed permeable pavement area outside of the limit of disturbance, there are several possible options for the impacted area:
  - If excavation is the proposed permeable pavement area can be restricted then remediation can be achieved with deep tillage practices. This is only possible if all soil soils are not disturbed any deeper than 2 feet above the final design elevation of the bottom of the aggregate reservoir course. In this case, when heavy equipment activity has occurred, the area is excavated to grade and the proposed area must be filled to a depth of 12 inches below the bottom of the reservoir layer.
  - Alternatively, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the permeable pavement to ensure that the design infiltration rate is still present. If tests reveal the loss of design infiltration rate, then deep tillage practices may be used in an effort to restore those sites. In this case further testing must be done to establish design rates must before the permeable pavement can be installed.
  - Finally, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the SWMP will be required.
- Permeable pavement areas must be clearly marked on all construction documents and grading plans.
- During construction, care should be taken to not track sediment onto any permeable pavement surface to avoid any construction cleanup and long term maintenance issues.
- Any area of the site intended ultimately to be a permeable pavement area with an infiltration component must not be used as the site of a temporary sediment trap or basin. If because a temporary sediment trap or basin on an area intended for permeable pavement is unavoidable, the success is parallel to those discussed for heavy equipment compaction.
- If it is possible restrict the area of the sediment trap or basin at least 1 foot above the final design elevation of the bottom of the aggregate reservoir course of the proposed permeable pavement then remediation can be achieved with proper removal of trapped sediment and deep tillage practice.
- An alternative approach to deep tillage is to use an impermeable liner to protect the soil with from sedimentation while the sediment trap or basin is in use.
- In each case, all sediment deposited in the excavated area must be carefully removed prior to installing the site-use liner and surface treatment. The plan must also show the proper procedures for covering the temporary sediment control practice to a permeable pavement BMP, including deep cleaning, erosion, and stabilization.

Stormwater areas must be fully protected from sediment erosion by soil fence or construction fencing, particularly if they are intended to utilize runoff. Permeable pavement areas intended to utilize runoff must remain outside the limit of disturbance along construction to prevent soil compaction by heavy equipment and loss of design infiltration rate. In this case, when heavy equipment must be used, the area shall be covered with a geotextile fabric to prevent soil compaction. Where it is not possible to keep the proposed permeable pavement area outside of the limit of disturbance, there are several possible options for the impacted area:

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- Finally, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the SWMP will be required.

**DOCK BIODIVERSITY MAINTENANCE SPECIFICATIONS**

**3.6A Biodiversity Maintenance Criteria**

When biodiversity practices are installed, it is the owner's responsibility to ensure that, over the life of the project, (1) it is maintained above their design standards, (2) maintenance is performed as specified in the contract documents, and (3) it is subject to a maintenance contract as specified in the contract documents.

Maintenance of biodiversity practices should be integrated into routine land-use management and landscaping practices. It is the owner's responsibility to ensure that, over the life of the project, (1) it is maintained above their design standards, (2) maintenance is performed as specified in the contract documents, and (3) it is subject to a maintenance contract as specified in the contract documents.

Maintenance tasks and frequency will vary depending on the size and location of the biodiversity, the hydrologic regime, and the type of vegetation or other features. A typical maintenance schedule is provided in Table 3.21.

**Table 3.19: Typical Maintenance Tasks for Biodiversity Practices**

Frequency	Maintenance Tasks
After installation	For the first 6 months following installation, the practice and CD's should be inspected at least twice after the site is such that exceed 1 inch of rainfall. Conduct an annual review at installation.
As needed	• Monitor grass or plant cover applications • Stabilize the CD's as per permit • Remove any soil or sediment deposited on pavement • Replace or repair any permeable surface that is degrading or failing
1-2 times per year (depending on climate)	• Conduct a visual inspection of the biodiversity practice surface to ensure that it is free of debris and sediment • Conduct a visual inspection of the biodiversity practice surface to ensure that it is free of debris and sediment
Once every 2-3 years	• Perform an annual maintenance inspection to ensure that the biodiversity practice surface is free of debris and sediment
If clogged	• Conduct maintenance using a representative soil cover or vacuum sweep • Replace any necessary soil material

Many experts consider an annual dry-weather sweeping in the spring months to be important. The contract for sweeping should specify that a vacuum sweeper be used that does not use water spray, since spraying can lead to subsurface clogging. Typical maintenance tasks are outlined in Table 3.15

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- Alternatively, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the permeable pavement to ensure that the design infiltration rate is still present. If tests reveal the loss of design infiltration rate, then deep tillage practices may be used in an effort to restore those sites. In this case further testing must be done to establish design rates must before the permeable pavement can be installed.
- Finally, if it is infeasible to keep the proposed permeable pavement area outside of the limit of disturbance and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the SWMP will be required.

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ELECTRICAL LEGEND	
<b>GENERAL NOTES</b>	
1.	THE WORK TO BE DONE SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT, TOOLS, TRANSPORTATION, SUPERINTENDENTS AND SERVICES REQUIRED TO CONSTRUCT, INSTALL AND TO MODIFY THE ELECTRICAL SYSTEMS AS HEREIN SPECIFIED AND SHOWN ON THESE DRAWINGS FOR A COMPLETE AND FINAL COORDINATE WORK TO BE PERFORMED OR INSTALLED BY OTHERS AFFECTING THE ELECTRICAL WORK AND PROVIDE AND INSTALL ALL NECESSARY HOLES, SLEEVES, HANGERS, ETC. FOR ATTACHING OR CONNECTING ELECTRICAL WORK TO RELATED WORK OF OTHER TRADES.
2.	ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST ADOPTED NATIONAL ELECTRICAL CODE AND ALL OTHER LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
3.	THE DRAWINGS, WHICH CONSTITUTE A PART OF THIS CONTRACT, INDICATE THE GENERAL ARRANGEMENT OF CIRCUITS AND LOCATIONS OF OUTLETS, SWITCHES, PANELBOARDS, CONDUIT AND OTHER WORK. ALL ITEMS NOT SPECIFICALLY MENTIONED HEREIN, WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AT NO EXTRA COST.
4.	IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO EXAMINE AND TO COORDINATE WITH THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND THE DRAWINGS OF ALL OTHER TRADES IN ORDER TO BECOME FAMILIAR WITH ALL ASPECTS OF THE DESIGN AFFECTING THE ELECTRICAL WORK.
5.	CONTRACTOR SHALL COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF ALL NEW ELECTRICAL DEVICES WITH ARCHITECTURAL ELEVATIONS AND DRAWINGS PRIOR TO COMMENCEMENT OF WORK. DEVICES INCLUDE BUT ARE NOT LIMITED TO RECEPTACLES, SWITCHES, FIXTURES AND TELEDATA OUTLETS.
6.	ALL ELECTRICAL MATERIALS SHALL BE NEW EXCEPT WHERE SPECIFICALLY NOTED AS EXISTING TO BE REUSED. ALL MATERIALS SHALL BE LISTED BY THE MANUFACTURER'S LABORATORIES, INC. (ALL DEFECTIVE EQUIPMENT AND/OR EQUIPMENT DAMAGED DURING INSTALLATION AND/OR TESTING SHALL BE REPLACED OR REPAIRED IN A MANNER MEETING THE APPROVAL OF THE ARCHITECT AND THE ENGINEER. WHERE APPLICABLE, ALL EQUIPMENT SHALL BE IN ACCORDANCE WITH NEMA STANDARDS.
7.	ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE.
8.	ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
9.	INSTALL A FIRE STOP OF ROCKWOOL FIBER OR SILICON FOAM SEALANT TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FIRE AND SMOKE WHERE CONDUITS, WIREWAYS, AND OTHER ELECTRICAL RACEWAYS PASS THROUGH FIRE-RATED PARTITIONS AND/OR SLABS.
10.	ALL CERTIFICATES OF APPROVAL SHALL BE IN TRIPlicate, DELIVERED TO THE ENGINEER, AND BECOME THE PROPERTY OF THE OWNER.
11.	CONTRACTOR SHALL VERIFY ALL EQUIPMENT REQUIREMENTS BEFORE INSTALLING CONDUIT OR CONDUCTORS FROM POWER SOURCE TO EQUIPMENT TERMINATION.
12.	THE CONTRACTOR SHALL X-RAY SLABS IN AREA OF PENETRATION PRIOR TO CORE DRILLING AND COORDINATE WITH EQUIPMENT IN CEILING SPACE BELOW TO CHECK FOR OBSTRUCTIONS.
13.	CONDUCTOR INSTALLATION: HOMERUNS TO THE PANELBOARD MAY BE RUN TOGETHER IN ONE CONDUIT.
14.	PROVIDE ALL CONNECTIONS ARE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL ELECTRICAL CODE REQUIREMENTS AND THE MAXIMUM UNBALANCED CURRENT IN NEUTRAL DOES NOT EXCEED THE CAPACITY OF THE WIRE. NO MORE THAN 3 SINGLE PHASE CIRCUIT SHALL BE INSTALLED IN ONE RACEWAY, EXCEPT SPACES WHEREVER POSSIBLE, AND WHERE NECESSARY, SPACE IN READILY ACCESSIBLE PULL, JUNCTION OR OUTLET BOX.
15.	MODIFICATIONS TO EXISTING PANELBOARDS: THE ELECTRICAL CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AND/OR FUSED SWITCHES AS REQUIRED. NEW EQUIPMENT SHALL MATCH EXISTING INSTALLED EQUIPMENT AND SHALL BE OF THE SAME MANUFACTURER AND TYPE AS SIMILAR EXISTING EQUIPMENT. INTERLATCHING OF EQUIPMENT SHALL BE THE SAME AS OF THE EXISTING EQUIPMENT.
16.	INTERRUPTION OF ELECTRICAL POWER: THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK REQUIRING INTERRUPTION OF ELECTRICAL POWER WITH THE BUILDING OWNER AND SHALL OBTAIN WRITTEN PERMISSION FROM THE BUILDING OWNER PRIOR TO SHUTTING DOWN POWER TO ANY SWITCHBOARD. THE CONTRACTOR SHALL ALSO PROVIDE NOTICE TO ALL OTHER TRADES OF ALL SCHEDULED INTERRUPTIONS OF POWER.
17.	SITE VISIT: PRIOR TO SUBMITTING HIS BID, THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR ENGINEER IN ADVANCE OF ANY CONDITIONS THAT EXIST THAT WOULD PREVENT THE WORK HEREIN SPECIFIED OR SHOWN ON THE DRAWINGS FROM BEING PERFORMED. FAILURE TO SURVEY THE SITE PRIOR TO BID AND START OF CONSTRUCTION WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO INSTALL DESIGN WITHIN THE COMPRES OF THE EXISTING CONDITIONS.

ELECTRICAL LEGEND	
<b>GENERAL NOTES</b>	
18.	GUARANTEE: THE ELECTRICAL CONTRACTOR SHALL LEAVE THE ENTIRE ELECTRICAL SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. REPAIRS, FOR WHICH USE SHALL NOT BE CONSIDERED AS FINAL ACCEPTANCE. THE ELECTRICAL CONTRACTOR SHALL, DURING THE ONE YEAR GUARANTEE PERIOD, BE RESPONSIBLE FOR THE PROPER REPAIR AND ADJUSTMENTS OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT, APPARATUS DEVICES, ETC. INSTALLED BY HIM, AND DO ALL WORK NECESSARY TO ENSURE EFFICIENT AND PROPER FUNCTIONING, PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD. APPROXIMATELY 11 MONTHS AFTER FINAL ACCEPTANCE OF THIS PROJECT, A POST CONSTRUCTION REVIEW OF THE PROJECT WILL BE MADE.
19.	THE CONTRACTOR SHALL FURNISH PERSONNEL TO ASSIST THE OWNER IN THE REVIEW ANY ADJUSTMENTS, REPAIRS OR REPLACEMENTS FOUND NECESSARY DURING REVIEW SHALL BE DONE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20.	THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL INCUR FINANCIAL RESPONSIBILITY FOR ANY DAMAGES CAUSED BY, OR RESULTING FROM, DEFECTS IN HIS WORK.
21.	THE ELECTRICAL CONTRACTOR SHALL MAINTAIN AT THE SITE, FOR THE OWNER, ONE COPY OF ALL DRAWINGS, INCLUDING APPROVED SHOP DRAWINGS, REVISIONS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION. THE SET OF DRAWINGS AND OTHER INFORMATION SHALL BE DELIVERED TO THE OWNER AND ONE COPY GIVEN TO THE ENGINEER UPON COMPLETION OF WORK.
22.	ALL CONDUCTORS SHALL BE COPPER CONFORMING TO THE LATEST RE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, STRANDED FOR NO. 8 AWG AND LARGER, SOLID FOR NO. 10 AWG AND SMALLER.
23.	ALL WIRING SHALL BE INSTALLED IN CONDUIT (EMT WITH STEEL COMPRESSION FITTINGS OR TYPE MC CABLE WHERE ALLOWED BY CODE). MINIMUM CONDUIT SIZE SHALL BE 3/4". ALL CONDUIT AND WIRING SHALL BE CONCEALED IN CEILING AND/OR WALLS UNLESS SPECIFICALLY NOTED OTHERWISE. CHANNEL, EXISTING WALLS WHERE NECESSARY WHERE WIRING RUNS ARE EXPOSED DUE TO THE LACK OF A NEW FINISHED CEILING, EMT SHALL BE USED. INSTALL ALL CONDUITS IN PLANS WHICH ARE PARALLEL AND PERPENDICULAR WITH BUILDING LINES.

ELECTRICAL LEGEND								
<b>POWER</b>								
VP	WEATHER PROOF (NEMA 3R)							
IC	ISOLATED CIRCUIT							
GFI	GROUND FAULT INTERRUPTER							
⊕	WALL MOUNTED 250 AMP DUPLEX RECEPTACLE (18" AFF. UOI)							
⊕	WALL 250 AMP DUPLEX RECEPTACLE (18" AFF. UOI)							
⊕	WALL MTD. SPECIAL RECEPTACLE NEMA TYPE PER PLANS							
⊕	FLOOR MOUNTED 250 AMP DUPLEX RECEPTACLE							
⊕	CEILING MOUNTED JUNCTION BOX							
⊕	WALL MOUNTED JUNCTION BOX							
⊕	DISCONNECT SWITCH - NON-FUSED							
⊕	FUSED DISCONNECT SWITCH FUSE SIZE PER PLANS							
⊕	COMBINATION STARTER/DISCONNECT SWITCH							
⊕	NOTE: REFER TO MECHANICAL PLANS FOR HORSEPOWER							
⊕	SURFACE MOUNTED PANEL							
⊕	ENCLOSED CIRCUIT BREAKER							
<b>GENERAL</b>								
⊕	INDICATES PLAN NOTE.							
⊕	INDICATES REVISION. CLOUDED AREA CONTAINS THE REVISION							
⊕	INDICATES ROOM NUMBER							
⊕	BRANCH CIRCUIT HOMERUN							
⊕	GROUND							
<b>POWER</b>								
NOTES: REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS								
VP	WEATHER PROOF (NEMA 3R)							
IC	ISOLATED CIRCUIT							
GFI	GROUND FAULT INTERRUPTER							
⊕	WALL MOUNTED 250 AMP DUPLEX RECEPTACLE (18" AFF. UOI)							
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⊕	NOTE: REFER TO MECHANICAL PLANS FOR HORSEPOWER							
⊕	SURFACE MOUNTED PANEL							
⊕	ENCLOSED CIRCUIT BREAKER							
<b>ABBREVIATIONS</b>								
A MP	AMPERES	GRND	GROUND					
AB	ABOVE	GC	GENERAL CONTRACTOR					
AC	ALTERNATE CURRENT	GR	GROUND FAULT INTERRUPTER					
ABF	ABOVE FINISHED FLOOR	IS	ISOLATED CIRCUIT					
ARCH	ARCHITECTURAL ARCHITECT	INCD	INCANDESCENT					
BEL	BELLOW	IC	ISOLATED CIRCUIT					
BK	BEHIND	IC	ISOLATED CIRCUIT					
CON	CONDUIT	IC	ISOLATED CIRCUIT					
CEL	CEILING	LTS	LIGHTS					
CRT	CIRCUIT	WP	WEATHER PROOF					
CH	CHEMICAL	MEC	ENCLOSED METAL CASE SWITCH					
DC	DIRECT CURRENT	MECH	MECHANICAL					
DIS	DISCONNECT SWITCH	HM	MOUNTING HEIGHT					
DISC	DISCONNECT SWITCH	IM	IMMEDIATELY					
DWG	DRAWING	MB	MOUNTING BRACKET					
EC	ELECTRICAL CONTRACTOR	MTD	MOUNTED					
EF	EXISTING FAN	NEC	NATIONAL ELECTRICAL CODE					
ELCC	ELECTRICAL	NO. 1	NUMBER					
EM	EMERGENCY	NTS	NOT TO SCALE					
ESUP	EQUIPMENT	P	POLE					
EXIST	EXISTING	PH. 0	PHASE					
FA	FIRE ALARM	PNL	PANEL					
FACP	FIRE ALARM CONTROL PANEL	RECP	RECEPTACLE					
FAP	FIRE ALARM INDICATOR PANEL	RM	ROOM					
FXT	FIXTURE	TEL	TELEPHONE					
FLA	FULL LOAD AMPERES	TYP	TYPICAL					
FLUSE	FUSE	UN	UNLESS OTHERWISE NOTED					
		V	VOLTS					
		W	WEATHER					
		W	WEATHER					
		WP	WEATHERPROOF					
<b>LIGHTING</b>		NOTE: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES						
A	CAPITAL LETTER INDICATES TYPE	LOWER CASE LETTER INDICATES SWITCHING						
NL	INDICATES NIGHT LIGHTING - UNSWITCHED FIXTURE	SHADED CIRCLE INDICATES FIXTURE ON EMERGENCY CIRCUIT						
⊕	WALL MOUNTED FIXTURE	⊕						
⊕	POLE MOUNTED FIXTURE - SINGLE HEAD	⊕						
⊕	EMERGENCY BATTERY PACK LIGHT FIXTURE	⊕						
⊕	CEILING/WALL MOUNTED EXIT SIGN - SINGLE FACE PROVIDE DIRECTIONAL ARROWS PER PLANS	⊕						
⊕	CEILING/WALL MOUNTED EXIT SIGN - DOUBLE FACE PROVIDE DIRECTIONAL ARROWS PER PLANS	⊕						
⊕	20A, 1P, 120V TOGGLE TYPE LIGHT SWITCH	⊕						
⊕	20A, 1P, 120V KEY OPERATED LIGHT SWITCH	⊕						
⊕	LOW VOLTAGE LIGHT SWITCH	⊕						
⊕	TOGGLE TYPE MOTOR STARTER WITH THERMAL OVERLOAD PROTECTION	⊕						
⊕	WALL MOUNTED OCCUPANCY SENSOR, WATTSTOPPER DM-100 OR APPROVED E. UAL	⊕						
⊕	Ceiling mounted occupancy sensor, wattstopper DM-305 OR APPROVED E. UAL	⊕						
⊕	Ceiling mounted daylight sensor	⊕						
⊕	HIGH BAY LINE VOLTAGE PASSIVE INFRARED OCCUPANCY SENSOR WITH PROTECTIVE CASE, WATTSTOPPER HS300-13 WITH PROTECTIVE CASE OR APPROVED E. UAL	⊕						
<b>LIGHTING FIXTURE SCHEDULE</b>								
TYPE	SYMBOL	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMP DATA			VOLTS	NOTES
				NO.	WATTS	TYPE		
C	⊕	IN-GROUND LED FLOOD LIGHT	SOLERA LIGHTING SML5-E-1P-3X	10	LED	24	NOTE 1.3, 4	
D	⊕	VERTICALLY MOUNTED LED STRIP	CELI AL840T-HALLED-3-5K-1200-8W-VET-90°	SWFT	LED	277	NOTE 1.2	
<b>GENERAL NOTES</b>				<b>REVISION NOTES</b>				
1. E. UAL LIGHTING FIXTURE MANUFACTURERS WILL BE CONSIDERED				1. FINAL SELECTION OF LIGHT FIXTURE ARE TO BE PROVIDED BY THE ARCHITECT. THESE FIXTURES ARE SUGGESTED LIGHT FIXTURE FOR THE APPLICATION INTENDED.				
2. SEE ARCHITECTURAL DRAWING FOR EXACT LOCATION OF FIXTURES				2. FIXTURE AND TRANSFORMER SHALL BE SUITABLE FOR OUTDOOR USE.				
				3. COORDINATE FINISH WITH ARCHITECT.				
				4. LED 277V REMOTE MOUNTED TRANSFORMER SHALL BE OUTDOOR RATED.				

ELECTRICAL LEGEND								
<b>ABBREVIATIONS</b>								
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AB	ABOVE	GC	GENERAL CONTRACTOR					
AC	ALTERNATE CURRENT	GR	GROUND FAULT INTERRUPTER					
ABF	ABOVE FINISHED FLOOR	IS	ISOLATED CIRCUIT					
ARCH	ARCHITECTURAL ARCHITECT	INCD	INCANDESCENT					
BEL	BELLOW	IC	ISOLATED CIRCUIT					
BK	BEHIND	IC	ISOLATED CIRCUIT					
CON	CONDUIT	LTS	LIGHTS					
CRT	CIRCUIT	WP	WEATHER PROOF					
CH	CHEMICAL	MEC	ENCLOSED METAL CASE SWITCH					
DC	DIRECT CURRENT	MECH	MECHANICAL					
DIS	DISCONNECT SWITCH	HM	MOUNTING HEIGHT					
DISC	DISCONNECT SWITCH	IM	IMMEDIATELY					
DWG	DRAWING	MB	MOUNTING BRACKET					
EC	ELECTRICAL CONTRACTOR	MTD	MOUNTED					
EF	EXISTING FAN	NEC	NATIONAL ELECTRICAL CODE					
ELCC	ELECTRICAL	NO. 1	NUMBER					
EM	EMERGENCY	NTS	NOT TO SCALE					
ESUP	EQUIPMENT	P	POLE					
EXIST	EXISTING	PH. 0	PHASE					
FA	FIRE ALARM	PNL	PANEL					
FACP	FIRE ALARM CONTROL PANEL	RECP	RECEPTACLE					
FAP	FIRE ALARM INDICATOR PANEL	RM	ROOM					
FXT	FIXTURE	TEL	TELEPHONE					
FLA	FULL LOAD AMPERES	TYP	TYPICAL					
FLUSE	FUSE	UN	UNLESS OTHERWISE NOTED					
		V	VOLTS					
		W	WEATHER					
		W	WEATHER					
		WP	WEATHERPROOF					
<b>ABBREVIATIONS</b>		NOTE: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES						
A	CAPITAL LETTER INDICATES TYPE	LOWER CASE LETTER INDICATES SWITCHING						
NL	INDICATES NIGHT LIGHTING - UNSWITCHED FIXTURE	SHADED CIRCLE INDICATES FIXTURE ON EMERGENCY CIRCUIT						
⊕	WALL MOUNTED FIXTURE	⊕						
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⊕	CEILING/WALL MOUNTED EXIT SIGN - SINGLE FACE PROVIDE DIRECTIONAL ARROWS PER PLANS	⊕						
⊕	CEILING/WALL MOUNTED EXIT SIGN - DOUBLE FACE PROVIDE DIRECTIONAL ARROWS PER PLANS	⊕						
⊕	20A, 1P, 120V TOGGLE TYPE LIGHT SWITCH	⊕						
⊕	20A, 1P, 120V KEY OPERATED LIGHT SWITCH	⊕						
⊕	LOW VOLTAGE LIGHT SWITCH	⊕						
⊕	TOGGLE TYPE MOTOR STARTER WITH THERMAL OVERLOAD PROTECTION	⊕						
⊕	WALL MOUNTED OCCUPANCY SENSOR, WATTSTOPPER DM-100 OR APPROVED E. UAL	⊕						
⊕	Ceiling mounted occupancy sensor, wattstopper DM-305 OR APPROVED E. UAL	⊕						
⊕	Ceiling mounted daylight sensor	⊕						
⊕	HIGH BAY LINE VOLTAGE PASSIVE INFRARED OCCUPANCY SENSOR WITH PROTECTIVE CASE, WATTSTOPPER HS300-13 WITH PROTECTIVE CASE OR APPROVED E. UAL	⊕						
<b>LIGHTING FIXTURE SCHEDULE</b>								
TYPE	SYMBOL	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMP DATA			VOLTS	NOTES
				NO.	WATTS	TYPE		
C	⊕	IN-GROUND LED FLOOD LIGHT	SOLERA LIGHTING SML5-E-1P-3X	10	LED	24	NOTE 1.3, 4	
D	⊕	VERTICALLY MOUNTED LED STRIP	CELI AL840T-HALLED-3-5K-1200-8W-VET-90°	SWFT	LED	277	NOTE 1.2	
<b>GENERAL NOTES</b>				<b>REVISION NOTES</b>				
1. E. UAL LIGHTING FIXTURE MANUFACTURERS WILL BE CONSIDERED				1. FINAL SELECTION OF LIGHT FIXTURE ARE TO BE PROVIDED BY THE ARCHITECT. THESE FIXTURES ARE SUGGESTED LIGHT FIXTURE FOR THE APPLICATION INTENDED.				
2. SEE ARCHITECTURAL DRAWING FOR EXACT LOCATION OF FIXTURES				2. FIXTURE AND TRANSFORMER SHALL BE SUITABLE FOR OUTDOOR USE.				
				3. COORDINATE FINISH WITH ARCHITECT.				
				4. LED 277V REMOTE MOUNTED TRANSFORMER SHALL BE OUTDOOR RATED.				

OWNER: DGS DISTRICT OF COLUMBIA DISTRICT DEPARTMENT OF GENERAL SERVICES; LANCEL BARELY & ASSOCIATES CONSULTING STRUCTURAL ENGINEER; AMT DISTRICT OF COLUMBIA PROFESSIONAL ENGINEER

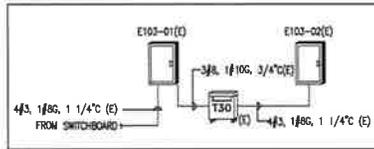


SUBMISSION SCHEDULE	DATE
1 PERMIT SET	07-17-2015

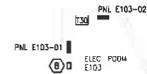
REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT: DYRS COURTYARD RENOVATION  
1000 MOUNT OLIVET ROAD, NE WASHINGTON, DC 20002  
SHEET TITLE: ELECTRICAL COVER SHEET  
PROJECT NO: 1310  
JULY 17, 2015  
SCALE:  
SHEET NO:

E001

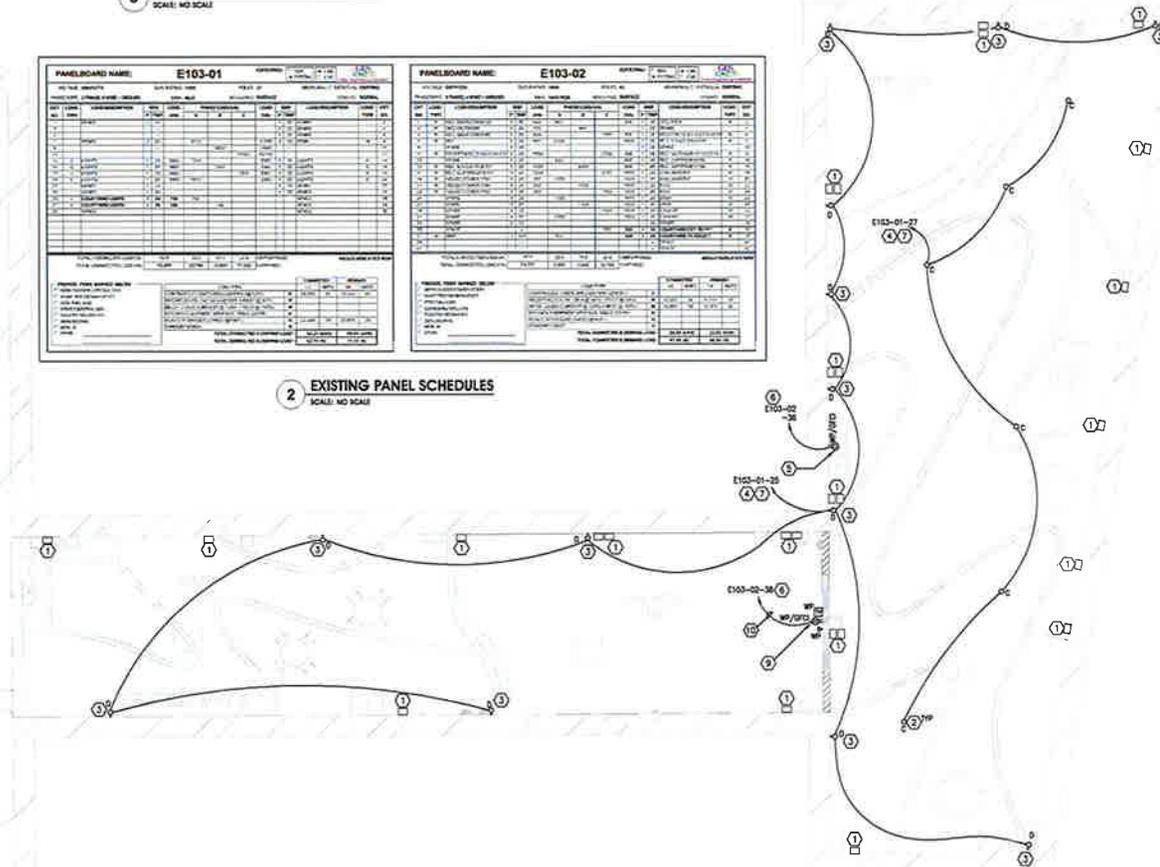


3 EXISTING PARTIAL RISER DIAGRAM  
SCALE: NO SCALE



PANELBOARD NAME: E103-01		PANELBOARD NAME: E103-02	
NO.	DESCRIPTION	NO.	DESCRIPTION
1	40A 1P 240V CIRCUIT BREAKER	1	40A 1P 240V CIRCUIT BREAKER
2	20A 1P 240V CIRCUIT BREAKER	2	20A 1P 240V CIRCUIT BREAKER
3	15A 1P 240V CIRCUIT BREAKER	3	15A 1P 240V CIRCUIT BREAKER
4	10A 1P 240V CIRCUIT BREAKER	4	10A 1P 240V CIRCUIT BREAKER
5	5A 1P 240V CIRCUIT BREAKER	5	5A 1P 240V CIRCUIT BREAKER
6	3A 1P 240V CIRCUIT BREAKER	6	3A 1P 240V CIRCUIT BREAKER
7	2A 1P 240V CIRCUIT BREAKER	7	2A 1P 240V CIRCUIT BREAKER
8	1.5A 1P 240V CIRCUIT BREAKER	8	1.5A 1P 240V CIRCUIT BREAKER
9	1A 1P 240V CIRCUIT BREAKER	9	1A 1P 240V CIRCUIT BREAKER
10	0.5A 1P 240V CIRCUIT BREAKER	10	0.5A 1P 240V CIRCUIT BREAKER
11	20A 1P 120V CIRCUIT BREAKER	11	20A 1P 120V CIRCUIT BREAKER
12	15A 1P 120V CIRCUIT BREAKER	12	15A 1P 120V CIRCUIT BREAKER
13	10A 1P 120V CIRCUIT BREAKER	13	10A 1P 120V CIRCUIT BREAKER
14	5A 1P 120V CIRCUIT BREAKER	14	5A 1P 120V CIRCUIT BREAKER
15	3A 1P 120V CIRCUIT BREAKER	15	3A 1P 120V CIRCUIT BREAKER
16	2A 1P 120V CIRCUIT BREAKER	16	2A 1P 120V CIRCUIT BREAKER
17	1.5A 1P 120V CIRCUIT BREAKER	17	1.5A 1P 120V CIRCUIT BREAKER
18	1A 1P 120V CIRCUIT BREAKER	18	1A 1P 120V CIRCUIT BREAKER
19	0.5A 1P 120V CIRCUIT BREAKER	19	0.5A 1P 120V CIRCUIT BREAKER
20	20A 1P 120V CIRCUIT BREAKER	20	20A 1P 120V CIRCUIT BREAKER
21	15A 1P 120V CIRCUIT BREAKER	21	15A 1P 120V CIRCUIT BREAKER
22	10A 1P 120V CIRCUIT BREAKER	22	10A 1P 120V CIRCUIT BREAKER
23	5A 1P 120V CIRCUIT BREAKER	23	5A 1P 120V CIRCUIT BREAKER
24	3A 1P 120V CIRCUIT BREAKER	24	3A 1P 120V CIRCUIT BREAKER
25	2A 1P 120V CIRCUIT BREAKER	25	2A 1P 120V CIRCUIT BREAKER
26	1.5A 1P 120V CIRCUIT BREAKER	26	1.5A 1P 120V CIRCUIT BREAKER
27	1A 1P 120V CIRCUIT BREAKER	27	1A 1P 120V CIRCUIT BREAKER
28	0.5A 1P 120V CIRCUIT BREAKER	28	0.5A 1P 120V CIRCUIT BREAKER

2 EXISTING PANEL SCHEDULES  
SCALE: NO SCALE



1 COURTYARD ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"

- ### GENERAL NOTES
- REFER TO E201 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.
- ### SPECIFIC NOTES
- EXISTING EXTERIOR SECURITY LIGHT FIXTURES TO REMAIN. CONTRACTOR SHALL CLEAN AND RE-LAMP ALL FIXTURES AND SHALL MAKE CERTAIN THAT ALL THE LIGHT FIXTURES ARE IN WORKING ORDER.
  - FLOOR MOUNTED LED UP-LIGHTING. SEE LIGHTING FUTURE SCHEDULE FOR TYPE. ALL THESE TYPE FIXTURES SHALL BE CONTROLLED VIA THE CLOCK. SEE NOTE 4 BELOW.
  - LED LIGHT FIXTURE MOUNTED VERTICALLY INSIDE THE PERFORATED ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR FINAL QUANTITY, LOCATION AND DETAILS. SEE LIGHTING FUTURE SCHEDULE FOR TYPE. ALL THESE TYPE FIXTURES SHALL BE CONTROLLED VIA THE CLOCK. SEE NOTE 4 BELOW.
  - CONNECT CIRCUIT TO EXISTING PANEL AND ROUTE VIA NEW TWO CIRCUIT TIME CLOCK. THE CLOCK SHALL BE AUTOMATIC (E2000) SERIES OR APPROVED EQUAL. THE CLOCK SHALL BE LOCKED INSIDE THE BUILDING. COORDINATE FINAL LOCATION WITH OWNER. FIXTURE TYPES "C" AND "D" SHALL BE CONTROLLED SEPARATELY.
  - PROVIDE NEW CIRCUIT FOR NESS GATE AND CONNECT TO EXISTING BUILDING PANEL. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
  - PROVIDE NEW 20A/1P CIRCUIT BREAKER IN THE SPACE OF PANEL E103-02 IN ELECTRICAL ROOM E103. CIRCUIT BREAKER SHALL MATCH EXISTING.
  - PROVIDE NEW 20A/1P CIRCUIT BREAKER IN THE SPACE OF PANEL E103-01 IN ELECTRICAL ROOM E103. CIRCUIT BREAKER SHALL MATCH EXISTING.
  - NEW THE CLOCK. SEE NOTE 4 ABOVE.
  - SEE RESPECTIVE DATA AND TV OUTLET FOR OUTDOOR TV SCREEN. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
  - 2#10, 1#100 IN 3/4"

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ARCHITECT  
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SUBMISSION SCHEDULE  
 1 PERMIT SET DATE 07-17-2015

REVISION SCHEDULE  
 NO DESCRIPTION DATE

PROJECT:  
**DYRS COURTYARD RENOVATION**  
 1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

SHEET TITLE:  
**COURTYARD ELECTRICAL PLAN**

PROJECT NO: 1310  
 JULY 17, 2015  
 SCALE:  
 SHEET NO:

E101

# STRUCTURAL NOTES

## DESIGN LOADS

### 1. LIVE LOADS

ROOF FLOOR	100 PSF
FLOOR	100 PSF
2. SNOW LOADS	
GROUND SNOW LOAD	10 PSF
SNOW EXPOSURE FACTOR	0.8
THERMAL FACTOR	1.0
SNOW RESISTANCE FACTOR	1.0
FLAT ROOF SNOW LOAD	10 PSF

### 3. LATERAL LOADS

WIND LOADS PER ASCE 7-10	
1. ULTIMATE DESIGN WIND SPEED	100 MPH
2. NOMINAL DESIGN WIND SPEED	80 MPH
3. WIND LOAD IMPORTANCE FACTOR	1.0
4. RISK CATEGORY	II
5. WIND EXPOSURE CATEGORY	II
6. INTERNAL PRESSURE COEFFICIENT	0.18
7. MIN & MAX DESIGN WIND PRESSURES FOR THE 10A WIND FORCE-RESISTING SYSTEM	18 PSF & 2 PSF
8. MIN & MAX WIND PRESSURE FOR COMPONENTS & CLADDING MATERIALS	26 PSF & 30 PSF
9. LATERAL RESISTING SYSTEM IS INCLUDING THE EXISTING BUILDING	

### SEISMIC LOADS PER IBC 2012

1. SEISMIC IMPORTANCE FACTOR	1.0
2. RISK CATEGORY	II
3. HAPPED SPECTRAL RESPONSE ACCELERATIONS SITE CLASS	II
4. HAPPED SPECTRAL RESPONSE COEFFICIENTS	0.18
5. SEISMIC DESIGN CATEGORY	II
6. BASIC SEISMIC RESPONSE ACCELERATION SYSTEM	0.18
7. DESIGN BASE SHEAR	0.18
8. SEISMIC RESPONSE COEFFICIENTS	0.18
9. RESPONSE MODIFICATION FACTORS	0.18
10. ANALYSIS PROCEDURE USED	0.18

## SOIL BEARING

1. ALL FTD 1500 PSF SHALL BE VERIFIED IN THE FIELD

## CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE ACI CODE 308.2F
2. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS: STONE CONCRETE COURSE AGGREGATE SHALL CONFORM TO ASTM C33. F = 4,000 PSI
3. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED WITH 8% L<sub>a</sub>

## FOUNDATION

1. ALL FOOTINGS SHALL BE PROVED AT LEAST 1' 0" INTO UNDISTURBED NATURAL SOIL OR THE COMPACTED CONTROLLED FILL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2' BELOW FINISH GRADE
3. WALL FOOTINGS SHALL BE 12" DEEP AND PROJECT 6" BEYOND EACH SIDE UNLESS NOTED
4. ELEVATION OF BOTTOM OF FOOTING HAS BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND SHALL BE CONSTRUED AS INDICATED. ANY OF THE MINIMUM REQUIREMENTS STATED
5. ALL MASONRY WALL FOOTINGS IN CONTROLLED FILL ARE TO BE REINFORCED WITH 3 #8 LONGITUDINAL CONTINUOUS TOP AND BOTTOM BARS UNLESS NOTED
6. ALL SKIN REINFORCED EXTERIOR FOOTINGS SHALL BE REINFORCED WITH CONCRETE F50000 PSI
7. ALL BEARING STRATA SHALL BE IMMEDIATELY GRANDED BEFORE FOUNDATION CONCRETE IS PLACED
8. NO EXCAVATION SHALL BE CLOSER THAN AT A SLOPE OF 1:2 (HORIZONTAL TO ONE VERTICAL) TO A FOOTING
9. DO NOT PLACE CONCRETE OVER FRESH CONCRETE
10. THE OWNER SHALL OBTAIN THE SERVICES OF A SOIL CONSULTANT APPROVED BY THE ARCHITECT TO CHECK AND VERIFY THE REQUIRED SOIL BEARING PRESSURE OF EACH FOOTING

## REINFORCEMENT STEEL

1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A63 GRADE 60
2. WELDED WIRE REBAR TO CONFORM TO ASTM A495
3. FABRICATORS AND PROVIDERS OF ANCHOR SUPPORTING ASSEMBLIES IN ACCORDANCE WITH THE APPROVAL OF STANDING COMMITTEE FOR DETAILING REINFORCED CONCRETE STRUCTURES AND RELATED ASSOCIATION
4. ALL CONTINUOUS REINFORCING SHALL BE SPACED WITH TYPE "B" BRUCE 6" UNLESS NOTED OTHERWISE
5. IN THE GARAGE SLABS, ALL REINFORCING BARS LOCATED IN THE TOP OF THE SLAB
6. SUBMIT FOR APPROVAL SHOP DRAWINGS SHOWING ALL REINFORCING STEEL AND LOCATIONS OF COUPLER JOINTS FOR EXTENT OF THE CONCRETE POUR

## CONCRETE PROTECTION FOR REINFORCEMENT

1. FORMS AND OTHER CONCRETE TOLERANCES TO MATCH BENCH-MARK
2. FORMED CONCRETE EXPOSED TO WEATHER SHALL BE PROTECTED WITH 1/2" POLYURETHANE OR SIMILAR BARS
3. BARS COLLARS AND TOP REINFORCING IN THE GARAGE SLAB SHALL BE 1/2"
4. INTERIOR SLABS SHALL BE 3/4"
5. INTERIOR FACES OF WALLS WITH EXTERIOR FACES EXPOSED TO WEATHER SHALL BE 1 1/2"
6. SLABS ON GROUND UNLESS OTHERWISE NOTED TO HAVE REINFORCEMENT AT HEAD OF WALL

## MASONRY

1. SOLID CONCRETE MASONRY SHALL BE GRADE V UNLESS OTHERWISE NOTED
2. HOLLOW CONCRETE MASONRY UNITS SHALL BE GRADE V CONFORMING TO ASTM C90
3. CONCRETE MASONRY UNITS SHALL BE WITH JOINT CONCRETE
4. ALL MORTAR SHALL BE TYPE S CONFORMING TO ASTM C270 FOR ABOVE GRADE CONSTRUCTION
5. PROVIDE A MINIMUM OF 3 COURSES OF SOLID BRICK OR ONE COURSE 100% SOLID BLOCK UNDER WALL BEARING ENDS OF ALL JOISTS AND SLABS THE FULL WIDTH OF THE WALL UNLESS NOTED
6. PROVIDE 100% SOLID MASONRY DOWN TO FOOTINGS BELOW GRADE AND UNDER ALL BEAMS AND LINTELS BEARING ON MASONRY UNLESS NOTED

7. IN BEARINGS WALLS PROVIDE SOLID BLOCK OR SOLID BLOCK CONCRETE BLOCK EXTENDING 8" BEYOND WALL SPANNING THE FULL WALL THICKNESS DOWN TO THE TIE OR UNLESS NOTED
8. ALL PORTIONS OF BEARING WALLS HAVING A HORIZONTAL CROSS SECTION OF 4 SQ. FT. OR LESS SHALL BE SOLID MASONRY DOWN TO FOOTINGS
9. PROVIDE HORIZONTAL MASONRY REINFORCING AT 16" O.C. IN ALL MASONRY WALLS UNLESS NOTED
10. PROVIDE VERTICAL CONTROL JOINTS IN ALL MASONRY WALLS AT 16" O.C. UNLESS NOTED
11. ALL PORTAL JOINTS IN MASONRY WALLS (HORIZONTAL & VERTICAL) SHALL BE FILLED (GROUT WITH MORTAR) GROUT SHALL BE SAND AND CEMENT 8 BAGS PER CUBIC YARD
12. PROVIDE MASONRY TIE BETWEEN 4" BRICK VENEER WALL AND THE STEEL STUD WALL SPACES @ 16" VERTICAL AND 4" HORIZONTAL

## STRUCTURAL STEEL

1. SHALL BE IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS
2. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 GRADE 50. STRUCTURAL TUBS SHALL CONFORM TO ASTM A500 GRADE B AND STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A53
3. ALL WELDS SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY STANDARD CODE FOR STEEL AND CAST IRON WELDING IN BUILDING CONSTRUCTION. LATEST CODE AND SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY
4. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE UP WITH 3/16" THICK HIGH STRENGTH BOLTS IN ACCORDANCE WITH ASTM A325 OR A490
5. ESTABLISH WELDING PROCEDURES FOR ALL WELDS OTHER THAN 1/2" PENETRATION LAP WELDS
6. ALL BOLTS SHALL BE LOCK WASHED IN PLACES UNLESS APPROVED BY THE ENGINEER
7. THE OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR TO INSPECT ERECTED STEEL AND CONNECTIONS
8. NO FIELD CUTTING OF THE STEEL MEMBERS SHALL BE PERMITTED WITHOUT PRIOR AUTHORIZATION OF THE STRUCTURAL ENGINEER
9. PROVIDE STEEL TO BE PERMANENTLY PROTECTED TO EITHER GALVANNEAL OR HOT DIPPED GALVANIZED
10. ALL STEEL TO BE PERMANENTLY PROTECTED TO EITHER GALVANNEAL OR HOT DIPPED GALVANIZED
11. SUBMIT FOR APPROVAL ALL STEEL SHOP DRAWINGS AND CALCULATIONS BEING MADE AND BE MADE BY A PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA. TWO SETS OF DRAWINGS FOR THE REVIEW OF STRUCTURAL SHOP DRAWINGS
12. ALL BEAM EXHAUSTION SHALL BE DESIGNED FOR THE MAXIMUM SHEAR CAPACITY
13. SEE SPECIFICATIONS FOR PAINTING
14. ALL STEEL ERECTION SHALL BE COMPLETED INCLUDING ALL BRACES BEFORE OTHER TRADES START THEIR WORK

## LINTELS

1. PROVIDE UNLESS NOTED OTHERWISE PRECAST LIGHTWEIGHT CONCRETE LINTELS FOR ALL OPENINGS AND RECESSES IN CONCRETE MASONRY UNIT WALLS
  - A. ONE 6" X 6" LINTEL FOR EACH 6" OF WALL THICKNESS
  - B. ONE 6" X 6" LINTEL FOR EACH 6" OF WALL THICKNESS
2. REINFORCE EACH LINTEL UNIT WITH ONE 4 BAR TOP AND ONE 4 BAR BOTTOM WITH 2 TOE BARS SPACED AT 16" O.C. CONCRETE LINTEL UNITS SHALL HAVE 8" MINIMUM BEARINGS AT ENDS AND MAY BE USED FOR OPENINGS UP TO 6'-0"
3. PROVIDE REBAR AND RECESSES IN BRICK WALLS PROVIDE ONE STEEL ANGLE FOR EACH 6" OF WALL THICKNESS AND 12" O.C.
4. PROVIDE REBAR AND RECESSES IN BRICK WALLS PROVIDE ONE STEEL ANGLE FOR EACH 6" OF WALL THICKNESS AND 12" O.C.
5. PROVIDE REBAR AND RECESSES IN BRICK WALLS PROVIDE ONE STEEL ANGLE FOR EACH 6" OF WALL THICKNESS AND 12" O.C.
6. PROVIDE REBAR AND RECESSES IN BRICK WALLS PROVIDE ONE STEEL ANGLE FOR EACH 6" OF WALL THICKNESS AND 12" O.C.

## SOIL FILL COMPACTION

1. COMPACT ALL TO BE IN ACCORDANCE WITH ASTM D-1557
2. LABORATORY TESTS ARE TO BE PERFORMED ON THE FILL MATERIAL PRIOR TO PLACING TO DETERMINE THE MATERIAL IS SUITABLE TO RECEIVE SOIL COMPACTION
3. PROVIDE FIELD TESTING DURING CONSTRUCTION TO DETERMINE THAT THE FILL IS COMPACTED TO 95%

## WALL PROPPING

1. EXTENSIVE CARE AND PROPER PREVENTATIVE MEASURES MUST BE TAKEN SO AS NOT TO DAMAGE BUILDING OR FINISHES DUE TO EQUIPMENT AND/OR EXCESSIVE VIBRATION DURING WALL PROPPING OR OTHER SUITABLE METHODS OF PROTECTION SHALL BE EMPLOYED UNTIL THE FULL LOAD OF THE BUILDING IS ON THE WALLS AND THE WALLS ARE BRACED

## BACKFILL

1. SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE AND FINISHED FLOOR SLABS HAVE BEEN FINISHED AND REINFORCING THEIR DESIGN STRENGTH AND APPROVAL OBTAINED FROM THE ENGINEER
2. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS BACKFILL BOTH SIDES SHALL SIMULTANEOUSLY
3. WHERE BACKFILL IS REQUIRED ON ONE SIDE OF WALL AND THE FINISHED FLOOR IS NOT IN PLACE SHORE THE WALL UNTIL BACKFILL IS PLACED

## SUMP PUMPS

1. ARE TO BE PROVIDED DURING CONSTRUCTION AND AFTER CONSTRUCTION LEFT AS PERMANENT PUMPS AS REQUIRED BY THE ARCHITECT
2. THE SIZE AND LOCATION OF THE SUMP PUMPS ARE TO BE DETERMINED IN THE FIELD BASED ON THE AMOUNT OF WATER ENCOUNTERED DURING CONSTRUCTION

## PRE-EXISTING CONDITIONS

1. GENERAL CONTRACTOR SHALL FIELD MEASURE LOCATION OF ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES

## SEATHINGS, SHORING AND BRACING

1. SHALL BE DESIGNED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT OF COLUMBIA AND SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL. SHOP DRAWINGS AND CALCULATION MUST SHOW INSTALLATION DETAILS AND SEQUENCE OF OPERATION

## SHOP DRAWINGS

1. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR AND REVIEWED BY THE ENGINEER OF RECORD OR OWNER PRIOR TO SUBMITTING THE SHOP DRAWINGS TO THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL IDENTIFICATION AND DESIGN OF THE PROJECT
2. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS BEFORE SUBMITTING TO ENGINEER MAKE ALL CORRECTIONS AS HE DEEMS NECESSARY AND SHALL CERTIFY ON EACH DRAWING AS FOLLOWS
3. REPRODUCTION OF STRUCTURAL DRAWINGS FOR USE IN SHOP DRAWINGS SHALL NOT BE PERMITTED

## TESTING AND INSPECTION

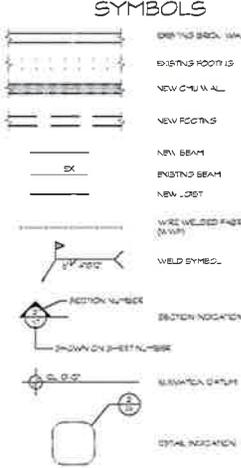
1. INSPECTION FOR ALL STRUCTURAL PORTIONS OF THE PROJECT SHALL BE PROVIDED AS REQUIRED BY THE APPLICABLE BUILDING CODES
2. THE OWNER'S TESTING AGENCY SHALL PERFORM ALL INSPECTIONS AND TESTING
3. ALL CONCRETE WORK SHOWN ON THESE DRAWINGS AND SPECIFIED IN THE SPECIFICATIONS SHALL BE INSPECTED IN ACCORDANCE WITH ACSI'S (LATEST EDITION) CODES OF PRACTICE FOR CONCRETE FINISHES, CYLINDER TESTS AND OTHER DATA SHALL BE SENT TO THE ARCHITECT, ENGINEER AND OWNER
4. ALL FIELD AND LAB TESTING OF CONCRETE SHALL CONFORM TO THE LATEST APPROVED EDITIONS OF ASTM APPLICABLE SPECIFICATIONS

## GENERAL

1. ALL DETAIL SECTION AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED
2. DO NOT SCALE DRAWINGS
3. REFER TO ARCHITECTURAL MECHANICAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. DOOR AND OTHER SUCH PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS
4. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO PROPERLY CONSTRUCT THE BUILDING
5. ALL HANGERS FOR MECHANICAL PIPING, DUCTWORK AND EQUIPMENT SHALL BE CONNECTED TO THE STRUCTURAL MEMBERS. THE HANGERS SHALL BE LOCATED SUCH THAT DO NOT PROVIDE EQUIVALENT UNDESIRABLE LOADS OF MORE THAN 2 PSF. SUBMIT SHOP DRAWINGS FOR HANGERS TO THE ARCHITECT FOR APPROVAL
6. PROVIDE ALL CURVE ANGLE TIES AND STRAPS HANGERS BOLTS AND OTHER FASTENERS AS REQUIRED
7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
8. NO PART OF THE BUILDING SHALL BE USED AS A STAGING AREA EXCEPT IN A LOAD (UNDER THE LIMITED DESIGN AREA) THAT DOES NOT EXCEED 2% OF THE DESIGN LIVE LOAD
9. ALL FORMWORK AND SHORING DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR

## ABBREVIATIONS

ADD	ADDITIONAL
ARCH	ARCHITECTURAL
BAL	BALANCE
BHT	BEAM
BOT	BOTTOM
C.J.	CONTROL JOINT
C.L.	CENTER LINE
CL	CLEAR
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DET	DETAIL
DLA	DIAMETER
DR	DRAWING
DWLS	DOWELS
EA	EACH
EA	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
E.O.S	EDGE OF STRUCTURAL SLAB
EW	EACH WAY
EXP	EXPANSION
FIN	FINISHED
FL	FLOOR
H	HORIZONTAL
H.O.S	NOT TOP GALVANIZED
JT	JOINT
L.H	LONG LESS HORIZONTAL
L.V.	LONG LESS VERTICAL
L.W.	LONG WAY
MAN	MANHOLE
MCH	MECHANICAL
MN	MINIMUM
NO	NUMBER
NTS	NOT TO SCALE
O.C	ON CENTER
OR	OR
ORIS	ORIENTED CONCRETE
P.F.F.	PREHARDENED JOINT FILLER
P	PUMP
R	RADIUS
REIN	REINFORCEMENT
REQD	REQUIRED
SCHED	SCHEDULE
SECT	SECTION
S.M.	SHIMLAR
S.O.S	SLAB ON GRADE
S.S.	STAINLESS STEEL
STD	STEEL
STANDARD	STANDARD
STIFF	STIFFNESS
SW	SHORT WAY
SYM	SYMMETRICAL
T & B	TOP AND BOTTOM
T.O.D	TOP OF DECK JOIST
T.O.F	TOP OF FOOTING
T.O.SL	TOP OF STRUCTURAL SLAB
T.O.ST	TOP OF STEEL
T.O.W	TOP OF STRUCTURAL WALL
TR	TRUSS
U.O.N	UNLESS OTHERWISE NOTED
V	VERTICAL
V.B.F	VERTICAL BEARING POINT
W.P.	WORKING POINT
W.W.H	WELDED WIRE MESH



Structural notes omitted or provided in Project Manual to be used by the GC Contractor Only

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WASHINGTON, DC 20002  
TEL: (202) 462-1100  
WWW.LBAE.COM

**PROFESSIONAL ENGINEER**  
LANCE BAILEY  
1000 MOUNTAIN VIEW DRIVE  
WASHINGTON, DC 20002  
TEL: (202) 462-1100  
WWW.LBAE.COM

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SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

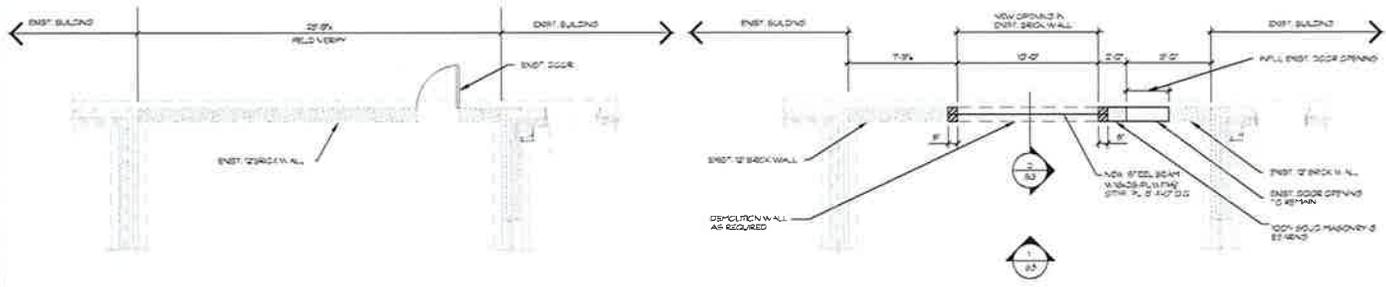
PROJECT:  
**DYRS COURTYARD #1& #2 RENOVATION**

1000 MOUNTAIN VIEW ROAD, NE  
WASHINGTON, DC 20002

SHEET TITLE:  
**STRUCTURAL NOTES**

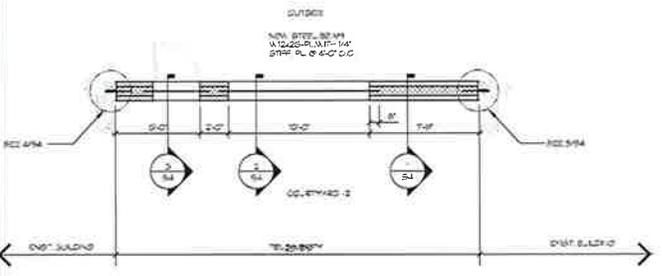
PROJECT NO: 1310  
JULY 23, 2015  
SCALE:  
SHEET NO:

**S0001**

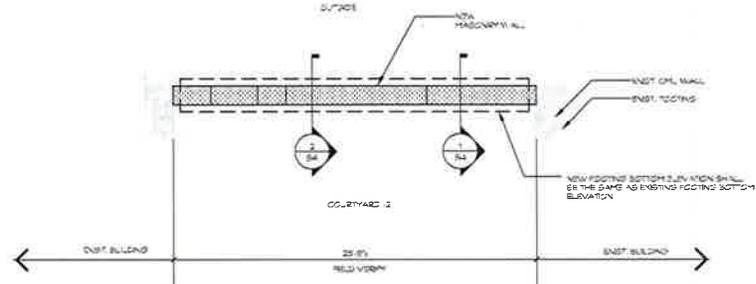


**EXISTING CONDITION PLAN**  
SCALE: 1/8"=1'-0"  
1  
S-2

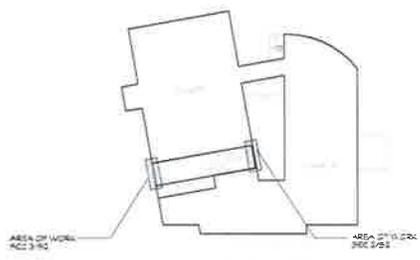
**PROPOSED OPEN WALL**  
SCALE: 1/8"=1'-0"  
2  
S-2



**PROPOSED NEW WALL PLAN**  
SCALE: 1/8"=1'-0"  
3  
S-2



**PROPOSED NEW FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"  
4  
S-2



**KEYPLAN**



Structural steel certified as provided in Section 0511 of the DC Construction Code



**DGS**  
DEPARTMENT OF GENERAL SERVICES  
1100 MOUNT OLIVET ROAD  
WASHINGTON, DC 20002

**ARCHITECT**  
**LANCE BAILEY & ASSOCIATES**  
780 ST. DENIS AVENUE, NE  
WASHINGTON, DC 20002  
11801/0001/1/11/2002/01

**CONSULTING STRUCTURAL ENGINEER**  
PROFESSIONAL NO. 11801  
11801/0001/1/11/2002/01

**ELECTRICAL ENGINEER**  
**DESIGN ENGINEERING SOLUTIONS**  
100 HIGDON ROAD, SUITE 200  
ROLYNS, MD 21138  
11801/0001/1/11/2002/01

**AMT**  
11801/0001/1/11/2002/01

SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

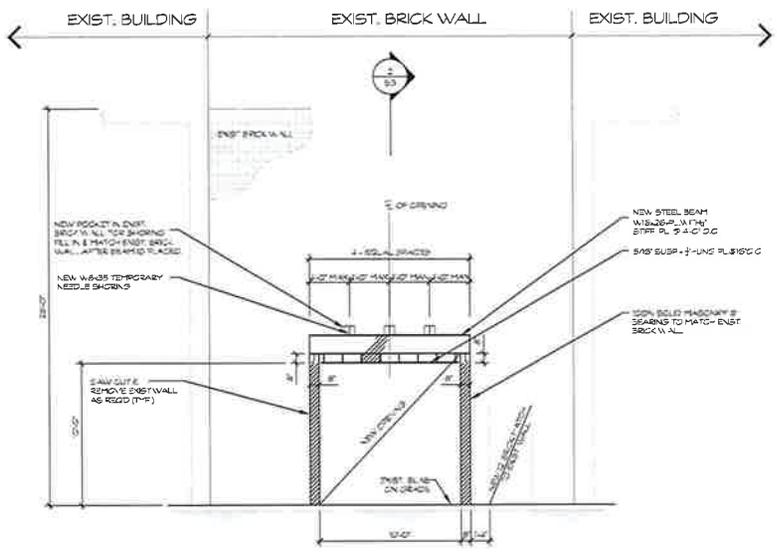
PROJECT:  
**DYRS COURTYARD #1& #2 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
WASHINGTON, DC 20002

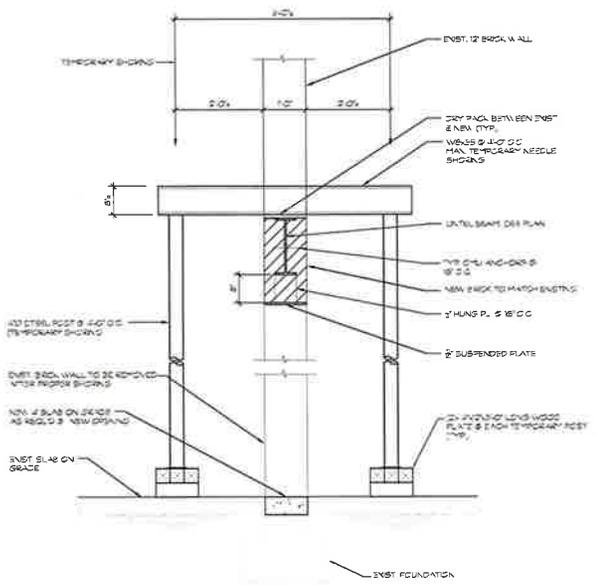
SHEET TITLE:  
**PROPOSED FOUNDATION & WALL PLAN**

PROJECT NO: 1310  
JULY 23, 2015  
SCALE:  
SHEET NO:

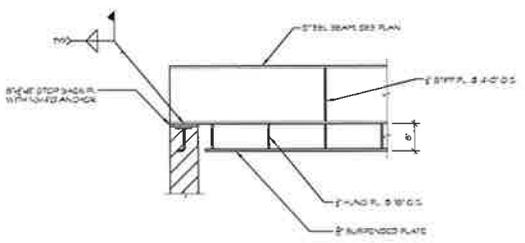
**S0002**



**TYPICAL TEMPORARY SHORING & NEW LINTEL BEAM**  
 SCALE: 3/4"=1'-0"  
 1  
 S-3



**TYPICAL SECTION**  
 SCALE: 3/4"=1'-0"  
 2  
 S-3



**TYPICAL BEAM BEARING DETAIL**  
 SCALE: 3/4"=1'-0"  
 3  
 S-3



Structural drawings certified as provided in Section 906.1 of the DC Construction Codes

**DGS**  
 DEPARTMENT OF GENERAL SERVICES  
 2000 MOUNT OLIVET ROAD  
 WASHINGTON, DC 20002

**LANCE BAILEY & ASSOCIATES, INC.**  
 100 MOUNT OLIVET ROAD  
 WASHINGTON, DC 20002  
 (202) 462-1100

**CONSULTING STRUCTURAL ENGINEER**  
 2000 MOUNT OLIVET ROAD  
 WASHINGTON, DC 20002  
 (202) 462-1100

**REGISTERED PROFESSIONAL ENGINEER**  
 No. 1310  
 EXPIRES 7/23/2015  
 STATE OF MARYLAND

**AMT**  
 100 MOUNT OLIVET ROAD  
 WASHINGTON, DC 20002  
 (202) 462-1100

SUBMISSION SCHEDULE	DATE
NO DESCRIPTION	

REVISION SCHEDULE	DATE
NO DESCRIPTION	

PROJECT: \_\_\_\_\_

**DYRS COURTYARD #1& #2 RENOVATION**

1000 MOUNT OLIVET ROAD, NE  
 WASHINGTON, DC 20002

**SECTIONS & DETAILS**

PROJECT NO: 1310  
 JULY 23, 2015  
 SCALE:  
 SHEET NO:

**S0003**



# Attachment B

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Form of Offer Letter and Bid Form

Mr. Christopher Weaver  
[DATE]  
Page 1

Attachment B

[Contractor's Letterhead]

[Insert Date]

District of Columbia Department of General Services  
2000 - 14<sup>th</sup> Street, NW, 8<sup>th</sup> Floor  
Washington, DC 20009

Attn: Mr. Christopher Weaver  
Acting Director/Chief Contracting Officer

Reference: Invitation for Bids (IFB)  
DCAM-16-CS-0040 - Renovation of DYRS Gymnasium and Courtyard

Dear Mr. Weaver:

On behalf of [INSERT NAME OF BIDDER] (the "Bidder"), I am pleased to submit this bid in response to the Department of General Services' (the "Department" or "DGS") Invitation for Bids (the "IFB") for the renovation of the DYRS gymnasium and courtyard at 1000 Mount Olivet Road, NE, Washington, DC. The Bidder has reviewed the IFB and the attachments thereto, any addenda thereto (collectively, the "Bid Documents") and has conducted such due diligence and analysis as the Bidder, in its sole judgment, has deemed necessary in order to submit its Bid in response to the IFB. The Bidder's bid and the Lump Sum Fixed Price are based on the Bid Documents as issued and assume no material alteration of the terms of the Bid Documents. (Collectively, the Bid and the Lump Sum Fixed Price are referred to as the "Bidder's Bid".)

The Bidder's Bid is as follows:

**Bid**

CLIN	DESCRIPTION	LUMP SUM FIXED PRICE
0001	Renovation of DRYS Gymnasium and Courtyard At 1000 Mount Olivet Road, NE	\$ _____
<b>Total Lump Sum Fixed Price</b>		\$ _____

**LUMP SUM FIXED PRICE IN WORDS:**

---

The Bidder, for CLIN 0001, must submit for each of the components of work (Divisions) listed on the Price Breakdown Form (Exhibit 1), the price of each division component. The sum of all the prices for each division component must equal the Lump Sum Fixed Price for CLIN 0001. In the event of discrepancies between or among the Lump Sum Fixed Price and the Price Breakdown of each division component, the Lump Sum Fixed Price shall control.

The Bidder acknowledges and understands that the Lump Sum Fixed Price is a firm, fixed price and intended to be Bidder's sole compensation for the services required under the contract and should include sufficient funding for all of the Bidder's costs associated with the work, including, but not limited to, labor, tools and equipment, materials and supplies, and overhead, insurance and profit. Failure to submit the complete Price Breakdown for CLIN 0001 shall not to any extent qualify the Bidder's commitment to complete the entire project at the above stated Lump Sum Fixed Price. The District may use the Price Breakdown as a guide during contract administration

The Bidder's Bid is based on and subject to the following conditions:

1. The Bidder agrees to hold its proposal open for a period of at least one hundred twenty (120) days after the IFB closing date.
2. Assuming the Bidder is selected by the Department, the Bidder agrees to enter into a contract with the Department on the terms and conditions described in the bid documents within ten (10) days of the notice of the award.
3. Both the Bidder and the undersigned represent and warrant that the undersigned has the full legal authority to submit this proposal form and bind the Bidder to the terms of the Bidder's proposal. The Bidder further represents and warrants that no further action or approval must be obtained by the Bidder in order to authorize the terms of the Bidder's proposal.
4. The Bidder and its principal team members hereby represent and warrant that they have not: (i) colluded with any other group or person that is submitting a proposal in response to the IFB in order to fix or set prices; (ii) acted in such a manner so as to discourage any other group or person from submitting a proposal in response to the IFB; or (iii) otherwise engaged in conduct that would violate applicable anti-trust law.
5. The Bidder hereby certifies that neither it nor any of its team members have entered into any agreement (written or oral) that would prohibit any Contractor, subcontractor or subconsultant that is certified by the District of Columbia Office of Department of Small and Local Business Enterprises as a Local, Small, Resident Owned or Disadvantaged Business Enterprise (collectively, "LSDBE Certified Companies") from participating in the work if another company is awarded the contract.

6. This Offer Letter Form and the Bidder's Bid are being submitted on behalf of [INSERT FULL LEGAL NAME, TYPE OF ORGANIZATION, AND STATE OF FORMATION FOR THE OFFEROR].

Sincerely,

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

**Exhibit 1**

**PRICE BREAKDOWN FORM**

<b>CSI DIVISION NO.</b>	<b>DESCRIPTION</b>	<b>PRICE OF EACH DIVISION COMPONENT</b>
Div. 01	General Requirements	
Div. 02	Existing Conditions (incl. abatement/demo. of exist. structure)	
Div. 03	Concrete	
Div. 04	Masonry	
Div. 05	Metals	
Div. 06	Woods and Plastics	
Div. 07	Thermal and Moisture Protection	
Div. 08	Openings	
Div. 09	Finishes	
Div. 10	Specialties	
Div. 11	Equipment	
Div. 12	Furnishings	
Div. 13	Special Construction	
Div. 14	Conveying Systems	
Div. 21	Fire Suppressions	
Div. 22	Plumbing	
Div. 23	Heating, Ventilation and Air Conditioning	
Div. 26	Electrical	
Div. 27	Communications	
Div. 28	Electronic Safety and Security	
Div. 32	Exterior Improvements	
Div. 33	Utilities	
	<b>LUMP SUM FIXED PRICE</b>	\$ _____

- DIVISION means a discrete component of the work for which a separate price is requested. The sum of all components in the “Price Breakdown Form” must equal the Lump Sum Fixed Price.

# Attachment C

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## Disclosure Statement

**Disclosure Statement**

The Offeror and each of its principal team members, if any, must submit a statement that discloses any past or present business, familiar or personal relationship with any of the following individuals:

**D.C. Department of General Services**

Christopher Weaver	Acting Director, Chief Procurement Officer
Latrena Owens	Chief of Staff
Camille Sabbakhan	General Counsel
Carlos Sandoval	Supervisory Attorney Advisor
Spencer Davis	Deputy Director, Facilities Management
Yinka Alao	Associate Director, Contracts and Procurement

A.

Please identify any past or present business, familiar, or personal relationship in the space provided below. Use extra sheets as necessary.

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B.

Please identify any past or present business, familiar, or personal relationship in the space below. Use extra sheets if necessary.

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This is to certify that, to the best of my knowledge and belief and after making reasonable inquiry, the above represents a full and accurate disclosure of any past or present business, familiar, or personal relationship with any of the individuals listed above. The undersigned acknowledges and understands that this Disclosure Statement is being submitted to the False Claims Act and that failure to disclose a material relationship(s) may constitute sufficient grounds to disqualify the Offeror.

OFFEROR:

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

# Attachment D

---

Tax Affidavit

**GOVERNMENT OF THE DISTRICT OF COLUMBIA**

**Office of the Chief Financial Officer**

**Office of Tax and Revenue**



**TAX CERTIFICATION AFFIDAVIT**

**THIS AFFIDAVIT IS TO BE COMPLETED ONLY BY THOSE WHO ARE REGISTERED TO CONDUCT BUSINESS IN THE DISTRICT OF COLUMBIA.**

**Date**

**Authorized Agent  
Name of Organization/Entity  
Business Address (include zip code)  
Business Phone Number**

**Authorized Agent  
Principal Officer Name and Title  
Square and Lot Information  
Federal Identification Number  
Contract Number  
Unemployment Insurance Account No.**

I hereby authorize the District of Columbia, Office of the Chief Financial Officer, Office of Tax and Revenue to release my tax information to an authorized representative of the District of Columbia agency with which I am seeking to enter into a contractual relationship. I understand that the information released will be limited to whether or not I am in compliance with the District of Columbia tax laws and regulations solely for the purpose of determining my eligibility to enter into a contractual relationship with a District of Columbia agency. I further authorize that this consent be valid for one year from the date of this authorization.

I hereby certify that I am in compliance with the applicable tax filing and payment requirements of the District of Columbia. The Office of Tax and Revenue is hereby authorized to verify the above information with the appropriate government authorities.

**Signature of Authorizing Agent**

**Title**

The penalty for making false statement is a fine not to exceed \$5,000.00, imprisonment for not more than 180 days, or both, as prescribed by D.C. Official Code §47-4106.

# Attachment E

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## Subcontracting Plan Form



## SBE SUBCONTRACTING PLAN

**INSTRUCTIONS:** All construction & non-construction contracts for **government-assisted projects (agency contracts & private project with District subsidy)** over \$250,000, shall require at least 35% of the amount of the contract (total amount of agency contract or total private project development costs) be subcontracted to Small Business Enterprises (SBE), if insufficient qualified SBEs to Certified Business Enterprises (CBE). The SBE Subcontracting Plan must list all SBE and CBE subcontracts at every tier. Once the SBE Subcontracting Plan is submitted for agency contracts, options & extensions, it can only be amended with DSLBD's consent.

**SUBMISSION OF SBE SUBCONTRACTING PLAN:**

- ▲ For **agency** solicitations - submit to agency with bid/proposal.
- ▲ For **agency** options & extensions - submit to agency before option or extension exercised.
- ▲ For **private projects** - submit to DSLBD, agency project manager and District of Columbia Auditor, with each quarterly report. As private projects may not have awarded all contracts at the time the District subsidy is granted, the SBE Subcontracting Plan may be submitted simultaneously with each quarterly report and list all SBE/CBE subcontracts executed by the time of submission.

**CREDIT:** For each subcontract listed on the SBE Subcontracting Plan, credit will only be given for the portion of the subcontract performed, at every tier, by a SBE/CBE using *its own organization and resources*. **COPIES OF EACH FULLY EXECUTED SUBCONTRACT WITH SBEs and CBEs (AT EVERY TIER) MUST BE PROVIDED TO RECEIVE CREDIT.**

**EXEMPTION:** If the **Beneficiary (Prime Contractor or Developer)** is a CBE and will perform the **ENTIRE government-assisted project** with its *own organization and resources* and will **NOT** subcontract any portion of the services and goods, then the CBE is not required to subcontract 35% to SBEs.

BENEFICIARY ( <input checked="" type="checkbox"/> which applies <input type="checkbox"/> Prime Contractor or <input type="checkbox"/> Developer) INFORMATION:		
Company: _____	Contact # _____	Email address: _____
Street Address: _____		
✓ all that applies, Company is:		
<input type="checkbox"/> a SBE <input type="checkbox"/> a CBE <input type="checkbox"/> CBE Certification Number: _____		
<input type="checkbox"/> WILL perform the ENTIRE agency contract or private project with its own organization and resources		
<input type="checkbox"/> WILL subcontract a portion of the agency contract or private project		
Company's point of contact for agency contract or private project:		
Point of Contact: _____	Title: _____	
Contact # _____	Email address: _____	
Street Address: _____		

GOVERNMENT-ASSISTED PROJECT ( <input checked="" type="checkbox"/> which applies <input type="checkbox"/> Agency Contract or <input type="checkbox"/> Private Project) INFORMATION:	
AGENCY SOLICITATION	PRIVATE PROJECT
Solicitation Number _____ Solicitation Due Date: _____ Agency : _____ Total Dollar Amount of Contract: \$ _____  <i>*Design-Build must include total contract amount for both design and build phase of project.</i>  35% of Total Dollar Amount of Contract: \$ _____  Total Amount of All SBE/CBE subcontracts: \$ _____ <i>(include every lower tier)</i>	District Subsidy: _____ Agency Providing Subsidy: _____ Amount of District Subsidy: _____ Date District Subsidy Provided: _____  Project Name: _____  Project Address: _____  Total Development Project Budget: \$ _____ <i>(include pre-construction and construction costs)</i>  35% of Total Development Project Budget: \$ _____  Total Amount of All SBE/CBE subcontracts: \$ _____ <i>(include every lower tier)</i>



**SBE/ CBE SUBCONTRACTORS (FOR EACH TIER):**

<b>SBE/ CBE SUBCONTRACTOR INFORMATION:</b> <i>(For design-build projects, the SBE Subcontracting Plan is not required to be submitted for preconstruction services; however, a full SBE Subcontracting Plan (35% of the contract amount <b>including total design and build costs</b>) is required to be submitted before entering into a guaranteed maximum price or contract authorizing construction.)</i>			
SBE/ CBE Company	Address/Telephone No./ Email	Subcontractor Tier (1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup> , etc.)	Description of Subcontract scope of work to be PERFORMED WITH SBE/CBEs OWN ORGANIZATION & RESOURCES
_____	_____	<u>Select Tier</u>	_____
Period of subcontract: _____ Price to be paid to the SBE/CBE Subcontractor: \$ _____ <i>✓all that applies, Subcontractor is:</i> <input type="checkbox"/> a SBE <input type="checkbox"/> a CBE <input type="checkbox"/> CBE Certification #: _____ <input type="checkbox"/> SBE/CBE will perform the ENTIRE subcontract with its own organization and resources <input type="checkbox"/> SBE/CBE will subcontract a portion of the subcontract (MUST LIST EACH LOWER TIER SBE/ CBE SUBCONTRACTS)		SBE/ CBE Point of Contact Name: _____ Title: _____ Telephone Number: _____ Email Address: _____	

<b>SBE/ CBE SUBCONTRACTOR INFORMATION:</b> <i>(For design-build projects, the SBE Subcontracting Plan is not required to be submitted for preconstruction services; however, a full SBE Subcontracting Plan (35% of the contract amount <b>including total design and build costs</b>) is required to be submitted before entering into a guaranteed maximum price or contract authorizing construction.)</i>			
SBE/ CBE Company	Address/Telephone No./ Email	Subcontractor Tier (1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup> , etc.)	Description of Subcontract scope of work to be PERFORMED WITH SBE/CBEs OWN ORGANIZATION & RESOURCES
_____	_____	<u>Select Tier</u>	_____
Period of subcontract: _____ Price to be paid to the SBE/CBE Subcontractor: \$ _____ <i>✓all that applies, Subcontractor is:</i> <input type="checkbox"/> a SBE <input type="checkbox"/> a CBE <input type="checkbox"/> CBE Certification #: _____ <input type="checkbox"/> SBE/CBE will perform the ENTIRE subcontract with its own organization and resources <input type="checkbox"/> SBE/CBE will subcontract a portion of the subcontract (MUST LIST EACH LOWER TIER SBE/ CBE SUBCONTRACTS)		SBE/ CBE Point of Contact Name: _____ Title: _____ Telephone Number: _____ Email Address: _____	

I \_\_\_\_\_ of \_\_\_\_\_, swear or affirm the above is true and accurate  
 (Name) (Title) (Prime Contractor/ Developer)

\_\_\_\_\_  
 (Signature)

\_\_\_\_\_  
 (Date)

**Complete additional copies as needed.**



AGENCY CONTRACTING OFFICER'S USE ONLY **OR**  AGENCY PROJECT MANAGER'S USE ONLY  
(✓ which applies. Only one option should be selected.)

AGENCY CONTRACT AWARD	PRIVATE PROJECT SUBSIDY AWARD
<p>Agency: _____ Prime Contractor: _____ Contract Number: _____ Date SBE Subcontracting Plan Accepted: _____ Date agency contract signed: _____</p> <p>Anticipated Start Date of Contract: _____ Anticipated End Date of Contract: _____</p> <p>Total Dollar Amount of Contract: \$ _____</p> <p><i>*Design-Build must include total contract amount for both design and build phase of project.</i></p> <p>35% of Total Contract Amount: \$ _____</p> <p>Total Amount of All SBE/CBE subcontracts: \$ _____ <i>(include every tier)</i></p> <p>(✓ if applies) <input type="checkbox"/> Base Period Contract -- Option/Extension Period: _____ <input type="checkbox"/> Multi-year Contract     First year (period) of Contract: _____     Current year (period) of Contract: _____ <input type="checkbox"/> Design-Build --Date of Guaranteed Contract: _____</p> <p><input type="checkbox"/> Check if prime contractor is a CBE and will perform the ENTIRE government-assisted project (agency contract) with its <i>own organization and resources and NOT subcontract any portion of services or goods.</i></p>	<p>Agency Providing Subsidy: _____ District Subsidy: _____ Developer: _____ Amount of District Subsidy: _____ Date District Subsidy Provided/ contract signed: _____</p> <p>Anticipated Start Date of Project: _____ Anticipated End Date of Project: _____</p> <p>Project Name: _____ Project Address: _____</p> <p>Total Development Project Budget: \$ _____ <i>(include pre-construction and construction costs)</i></p> <p>35% of Total Development Project Budget: \$ _____</p> <p>Total Amount of All SBE/CBE subcontracts: \$ _____ <i>(include every lower tier)</i></p> <p><input type="checkbox"/> Check if developer is a CBE and will perform the ENTIRE government-assisted project (private project) with its <i>own organization and resources and NOT subcontract any portion of services or goods.</i></p>

AGENCY CONTRACTING OFFICER'S AFFIRMATION OR  AGENCY PROJECT MANAGER'S AFFIRMATION  
(✓ which applies)

The Below Agency Contracting Officer or Agency Project Manager Affirms the following (✓ to affirm):

- If the Beneficiary is a CBE, DSLBD was contacted to confirm Beneficiary's CBE certification;
- The fully executed Contract (Base or Option or Extension or Multi-Year) or subsidy document, between the Beneficiary and Agency, was emailed to DSLBD @ [Compliance.Enforcement@dc.gov](mailto:Compliance.Enforcement@dc.gov) within five (5) days of signing;
- FOR AGENCY CONTRACT** the SBE Subcontracting Plan, submitted by Beneficiary, was emailed to DSLBD @ [Compliance.Enforcement@dc.gov](mailto:Compliance.Enforcement@dc.gov) within five (5) days of signing the contract between the Beneficiary and Agency.

\_\_\_\_\_  
Name of Agency Contracting Officer or Agency Project Manager

\_\_\_\_\_  
Title of Agency Contracting Officer or Agency Project Manager

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

# Attachment F

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2015 Living Wage Act Notice

## **“THE LIVING WAGE ACT OF 2006”**

**Title I, D.C. Law No. 16-118, (D.C. Official Code §§ 2-220.01-.11)**

Recipients of new contracts or government assistance shall pay affiliated employees and subcontractors who perform services under the contracts no less than the current living wage.

**Effective January 1, 2015, the living wage rate is \$13.80.**

### **The requirement to pay a living wage applies to:**

- All recipients of contracts in the amount of \$100,000 or more; and, all subcontractors of these recipients receiving \$15,000 or more from the funds received by the recipient from the District of Columbia, and,
- All recipients of government assistance in the amount of \$100,000 or more; and, all subcontractors of these recipients of government assistance receiving \$50,000 or more in funds from government assistance received from the District of Columbia.

**“Contract” means a written agreement between a recipient and the District government.**

**“Government assistance” means a grant, loan or tax increment financing that result in a financial benefit from an agency, commission, instrumentality, or other entity of the District government.**

**“Affiliated employee” means any individual employed by a recipient who received compensation directly from government assistance or a contract with the District of Columbia government, including any employee of a contractor or subcontractor of a recipient who performs services pursuant to government assistance or contract. The term “affiliated employee” does not include those individuals who perform only intermittent or incidental services with respect to the contract or government assistance or who are otherwise employed by the contractor, recipient or subcontractor.**

**Certain exceptions apply** where contracts are subject to higher wage level determinations required by federal law; contracts delivered by regulated utility; contracts for services needed immediately to prevent or respond to a disaster or imminent threat to the public health or safety declared by the Mayor; contracts awarded to recipients that provide trainees with additional services provided the trainee does not replace employees; tenants or retail establishments that occupy property constructed or improved by government assistance, provided there is no receipt of direct District government assistance; Medicaid provider agreements for direct care services to Medicaid recipients, however, a home care agency, a community residential facility or a group home for persons with intellectual disabilities shall not be required to pay a living wage until implementing regulations are published in the D.C. Register and any necessary state plan amendments are approved; and contracts or other agreements between managed care organizations and the Health Care Safety Net Administration or the Medicaid Assistance Administration to provide health services.

**Exemptions are provided** for employees under 22 years of age employed during a school vacation period, or enrolled as a full-time student who works less than 25 hours per week, and for employees of nonprofit organizations that employ not more than 50 individuals.

**Each recipient and subcontractor of a recipient shall provide this notice to each affiliate employee covered by this notice, and shall also post this notice in a conspicuous site in its place of business.**

**All recipients and subcontractors shall retain payroll records created and maintained in the regular course of business under District of Columbia law for a period of at least 3 years.**

**For the complete text of the Living Wage Act of 2006 go to D.C. Official Code §§ 2-220.01-.11**

**To file a claim, visit: Department of Employment Services , Office of Wage-Hour, 4058 Minnesota Avenue, NE, Fourth Floor, Washington, D.C. 20019; call: (202) 671-1880; or file your claim on-line: [does.dc.gov](http://does.dc.gov). Go to “File a Claim” tab.**



## LIVING WAGE ACT FACT SHEET

The “Living Wage Act of 2006,” Title I of D.C. Law 16-18, (D.C. Official Code §§2-220.01-.11) became effective June 9, 2006. It provides that District of Columbia government contractors and recipients of government assistance (grants, loans, tax increment financing) in the amount of \$100,000 or more shall pay affiliated employees wages no less than the current living wage rate.

**Effective January 1, 2015, the living wage rate is \$13.80 per hour.**

Subcontractors of D.C. government contractors who receive \$15,000 or more from the contract and subcontractors of the recipients of government assistance who receive \$50,000 or more from the assistance are also required to pay their affiliated employees no less than the current living wage rate.

“Affiliated employee” means any individual employed by a recipient who receives compensation directly from government assistance or a contract with the District of Columbia government, including any employee of a contractor or subcontractor of a recipient who performs services pursuant to government assistance or a contract. The term “affiliated employee” does not include those individuals who perform only intermittent or incidental services with respect to the government assistance or contract, or who are otherwise employed by the contractor, recipient or subcontractor.

**Exemptions** – The following contracts and agreements are exempt from the Living Wage Act:

1. Contracts or other agreements that are subject to higher wage level determinations required by federal law (i.e., if a contract is subject to the Service Contract Act and certain wage rates are lower than the District’s current living wage, the contractor must pay the higher of the two rates);
2. Existing and future collective bargaining agreements, provided that the future collective bargaining agreement results in the employee being paid no less than the current living wage;
3. Contracts for electricity, telephone, water, sewer or other services provided by a regulated utility;
4. Contracts for services needed immediately to prevent or respond to a disaster or imminent threat to public health or safety declared by the Mayor;
5. Contracts or other agreements that provide trainees with additional services including, but not limited to, case management and job readiness services, provided that the trainees do not replace employees subject to the Living Wage Act;
6. An employee, under 22 years of age, employed during a school vacation period, or enrolled as full-time student, as defined by the respective institution, who is in high school or at an accredited

institution of higher education and who works less than 25 hours per week; provided that he or she does not replace employees subject to the Living Wage Act;

7. Tenants or retail establishments that occupy property constructed or improved by receipt of government assistance from the District of Columbia; provided, that the tenant or retail establishment did not receive direct government assistance from the District of Columbia;
8. Employees of nonprofit organizations that employ not more than 50 individuals and qualify for taxation exemption pursuant to Section 501 (c) (3) of the Internal Revenue Code of 1954, approved August 16, 1954 (68A Stat. 163; 26. U.S.C. §501(c)(3));
9. Medicaid provider agreements for direct care services to Medicaid recipients, provided, that the direct care service is not provided through a home care agency, a community residence facility, or a group home for persons with intellectual disabilities as those terms are defined in section 2 of the Health-Care and Community Residence Facility, Hospice, and Home Care Licensure Act of 1983, effective February 24, 1984 (D.C. Law 5-48; D.C. Official Code §44-501); provided however, that a home care agency, a community residence facility, or a group home for persons with intellectual disabilities shall not be required to pay a living wage until implementing regulations are published in the D.C. Register and any necessary state plan amendments are approved; and
10. Contracts or other agreements between managed care organizations and the Health Care Safety Net Administration or the Medicaid Assistance Administration to provide health services.

## **Enforcement**

The Department of Employment Services (DOES) and the D.C. Office of Contracting and Procurement (OCP) share monitoring responsibilities.

If you learn that a contractor subject to this law is not paying at least the current living wage you should report it to the Contracting Officer.

If you believe that your employer is subject to this law and is not paying you at least the current living wage, you may file a complaint with the DOES Office of Wage – Hour, located at 4058 Minnesota Avenue, NE, Fourth Floor, Washington, DC 20019, call (202) 671-1880, or file your claim on-line: [does.dc.gov](http://does.dc.gov). Go to “File a Claim” tab.

For questions and additional information, contact the Office of Contracting and Procurement at (202) 727-0252 or the Department of Employment Services on (202) 671-1880.

**Please note:** *This fact sheet is for informational purposes only as required by Section 106 of the Living Wage Act. It should not be relied on as a definitive statement of the Living Wage Act or any regulations adopted pursuant to the law.*

# Attachment G

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## First Source Agreement and Employment Plan



**GOVERNMENT OF THE DISTRICT OF COLUMBIA  
FIRST SOURCE EMPLOYMENT AGREEMENT FOR  
NON CONSTRUCTION PROJECTS ONLY**



**GOVERNMENT-ASSISTED PROJECT/CONTRACT INFORMATION**

CONTRACT/SOLICITATION NUMBER: \_\_\_\_\_  
 DISTRICT CONTRACTING AGENCY: \_\_\_\_\_  
 CONTRACTING OFFICER: \_\_\_\_\_  
 TELEPHONE NUMBER: \_\_\_\_\_  
 TOTAL CONTRACT AMOUNT: \_\_\_\_\_  
 EMPLOYER CONTRACT AMOUNT: \_\_\_\_\_  
 PROJECT NAME: \_\_\_\_\_  
 PROJECT ADDRESS: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
 PROJECT START DATE: \_\_\_\_\_ PROJECT END DATE: \_\_\_\_\_  
 EMPLOYER START DATE: \_\_\_\_\_ EMPLOYER END DATE: \_\_\_\_\_

**EMPLOYER INFORMATION**

EMPLOYER NAME: \_\_\_\_\_  
 EMPLOYER ADDRESS: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
 TELEPHONE NUMBER: \_\_\_\_\_ FEDERAL IDENTIFICATION NO.: \_\_\_\_\_  
 CONTACT PERSON: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 E-MAIL: \_\_\_\_\_ TELEPHONE NUMBER: \_\_\_\_\_  
 LOCAL, SMALL, DISADVANTAGED BUSINESS ENTERPRISE (LSDBE) CERTIFICATION  
 NUMBER: \_\_\_\_\_  
 D.C. APPRENTICESHIP COUNCIL REGISTRATION NUMBER: \_\_\_\_\_  
 ARE YOU A SUBCONTRACTOR  YES  NO IF YES, NAME OF PRIME  
 CONTRACTOR: \_\_\_\_\_  
 NONPROFIT ORGANIZATION WITH 50 EMPLOYEES OR LESS:  Yes  No

This First Source Employment Agreement ( Agreement), in accordance with Workforce Intermediary Establishment and Reform of the First Source Amendment Act of 2011 (D.C. Official Code §§ 2-219.01 – 2.219.05) and relevant provisions of the Apprenticeship Requirements Amendment Act of 2004 (D.C. Official Code § 2-219.03 and § 32-1431) for recruitment, referral, and placement of District of Columbia residents, is between the District of Columbia Department of Employment Services (DOES) and EMPLOYER. Pursuant to this Agreement, the EMPLOYER shall use DOES as its first source for recruitment, referral, and placement of new hires or employees for all new jobs created by the Government Assisted Project or Contract (Project). The Employer will hire 51% District of Columbia residents (DC residents) for all new jobs created by the Project and 35% of all apprenticeship hours worked in connection with the Project shall be worked by DC residents registered in programs approved by the District of Columbia Apprenticeship Council.

**I. DEFINITIONS**

The following definitions shall govern the terms used in this Agreement.

A. **Apprentice** means a worker who is employed to learn an apprenticeable occupation under the terms and conditions of approved apprenticeship standards.

B. **Beneficiary** means:

1. The signatory to a contract executed by the Mayor which involves any District of

Columbia government funds or funds which, in accordance with a federal grant or otherwise, the District government administers and which details the number and description of all jobs created by a government-assisted project or contract for which the beneficiary is required to use the First Source Register.

2. A recipient of a District government economic development action, including contracts, grants, loans, tax abatements, land transfers for redevelopment, or tax increment financing that results in a financial benefit of \$300,000 or more from an agency, commission, instrumentality, or other entity of the District government, including a financial or banking institution which serves as the repository for \$1 million or more of District of Columbia funds.
  3. A retail or commercial tenant that is a direct recipient of a District government economic development action, including contracts, grants, loans, tax abatements, land transfers for public redevelopment, or tax increment financing in excess of \$300,000.
- C. **Contracting Agency** means any District of Columbia agency that is awarded a government-assisted project or contract totaling \$300,000 or more.
- D. **Direct labor costs** means all costs, including wages and benefits, associated with the hiring and employment of personnel assigned to a process in which payroll expenses are traced to the units of output and are included in the cost of goods sold.
- E. **EMPLOYER** means any entity awarded a government-assisted project or contract totaling \$300,000 or more.
- F. **First Source Employer Portal** means the website consisting of a connected group of static and dynamic (functional) pages and forms on the World Wide Web accessible by Uniform Resource Locator (URL) and maintained by DOES to provide information and reporting functionality to EMPLOYERS.
- G. **First Source Register** means the DOES Automated Applicant Files, which consists of the names of District of Columbia residents registered with DOES.
- H. **Good faith effort** means an EMPLOYER has exhausted all reasonable means to comply with any affirmative action, hiring, or contractual goal(s) pursuant to the First Source law and Agreement.
- I. **Government-assisted project or contract** means any construction or non-construction project or contract receiving funds or resources from the District of Columbia or funds or resources which, in accordance with a federal grant or otherwise, the District of Columbia government administers, including contracts, grants, loans, tax abatements or exemptions, land transfers, land disposition and development agreements, tax increment financing, or any combination thereof, that is valued at \$300,000 or more.
- J. **Hard to employ** means a District of Columbia resident who is confirmed by DOES as:
1. An ex-offender who has been released from prison within the last 10 years;
  2. A participant of the Temporary Assistance for Needy Families program;
  3. A participant of the Supplemental Nutrition Assistance Program;
  4. Living with a permanent disability verified by the Social Security Administration or

District vocational rehabilitation program;

5. Unemployed for six (6) months or more in the last 12-month period;
6. Homeless;
7. A participant or graduate of the Transitional Employment Program established by § 32-1331; or
8. An individual who qualified for inclusion in the Work Opportunity Tax Credit Program as certified by DOES.

K. **Indirect labor costs** means all costs, including wages and benefits, that are part of operating expenses and are associated with the hiring and employment of personnel assigned to tasks other than producing products.

L. **Jobs** means any union and non-union managerial, nonmanagerial, professional, nonprofessional, technical or nontechnical position, including: clerical and sales occupations; service occupations; processing occupations; machine trade occupations; bench work occupations; structural work occupations; agricultural, fishery, forestry, and related occupations; and any other occupations as DOES may identify in the Dictionary of Occupational Titles, United States Department of Labor.

M. **Journeyman** means a worker who has attained a level of skill, abilities, and competencies recognized within an industry as having mastered the skills and competencies required for the occupation.

N. **Revised Employment Plan** means a document prepared and submitted by the EMPLOYER that includes the following:

1. A projection of the total number of new positions that will be created as a result of the project or contract, including the job title, number of positions available, indication of part-time or full-time status, salary range, union affiliation (if applicable), and the projected hire dates;
2. A roster of all current employees to include the name, Social Security Number, and address of all current employees, including apprentices, trainees, and transfers from other projects, who will be employed on the project or contract;
3. A projection of the total number of full-time and part-time salaried employees on an annual basis that will be utilized on the project or contract and the total number of full-time and part-time salaried employees that will be District residents;
4. A projection of the total number of hours to be worked on the project or contract by full-time and part-time hourly wage employees on an annual basis and a projection of the total number of hours to be worked on the project or contract by full-time and part-time hourly wage employees who are District residents;
5. A timetable outlining the total number of hours to be worked on the project or contract by full-time and part-time hourly wage employees by job category and the total number of full-time and part-time salaried employees by job category over the duration of the life of the hiring requirements set forth by DOES and an associated hiring schedule which predicts when specific job openings will be available;

6. Descriptions of the skill requirements by job title or position, including industry-recognized certifications required for the different positions;
  7. A strategy to fulfill DC resident hiring percentage pursuant to this Agreement, including a component on communicating these requirements to contractors and subcontractors and a component on potential community outreach partnerships with the University of the District of Columbia, the University of the District of Columbia Community College, DOES, Jointly Funded Apprenticeship Programs, the District of Columbia Workforce Intermediary, or other government-approved, community-based job training providers;
  8. A remediation strategy to ameliorate any problems associated with meeting these hiring requirements, including any problems encountered with contractors and subcontractors;
  9. The designation of a senior official from the EMPLOYER who will be responsible for implementing the hiring and reporting requirements;
  10. Descriptions of the health and retirement benefits that will be provided to DC residents working on the project or contract;
  11. A strategy to ensure that DC residents who work on the project or contract receive ongoing employment and training opportunities after they complete work on the job for which they were initially hired and a review of past practices in continuing to employ DC residents from one project or contract to the next;
  12. A strategy to hire graduates of District of Columbia Public Schools, District of Columbia Public Charter Schools, and community-based job training providers, and hard-to-employ DC residents; and
  13. A disclosure of past compliance with the Workforce Act and the Davis-Bacon Act, where applicable, and the EMPLOYER'S general DC resident hiring practices on projects or contracts completed within the last 2 years.
- O. **Tier Subcontractor** means any contractor selected by the primary subcontractor to perform portion(s) or all work related to the trade or occupation area(s) on a contract or project subject to this First Source Agreement.
- P. **Washington Metropolitan Statistical Area** means the District of Columbia; Virginia Cities of Alexandria, Fairfax, Falls Church, Fredericksburg, Manassas, and Manassas Park; the Virginia Counties of Arlington, Clarke, Fairfax, Fauquier, Loudon, Prince William, Spotsylvania, Stafford, and Warren; the Maryland Counties of Calvert, Charles, Frederick, Montgomery, and Prince Georges; and the West Virginia County of Jefferson.
- Q. **Workforce Intermediary Pilot Program** means the intermediary between employers and training providers to provide employers with qualified DC resident job applicants. See DC Official Code § 2-219.04b.

## II. GENERAL TERMS

- A. Subject to the terms and conditions set forth herein, DOES will receive the Agreement from the Contracting Agency no less than seven (7) calendar days in advance of the Project start date. No work associated with the relevant Project can begin until the Agreement has been accepted by DOES.

- B. The EMPLOYER will require all Project contractors and Project subcontractors with contracts or subcontracts totaling \$300,000 or more to enter into an Agreement with DOES.
- C. DOES will provide recruitment, referral, and placement services to the EMPLOYER, subject to the limitations in this Agreement.
- D. This Agreement will take effect when signed by the parties below and will be fully effective for as long as the benefit is being received, or for commercial and retail tenants only, for five (5) years following the commencement of the tenant's initial lease.
- E. DOES and the EMPLOYER agree that, for purposes of this Agreement, new hires and jobs created for the Project (both union and nonunion) include all of EMPLOYER'S job openings and vacancies in the Washington Metropolitan Statistical Area created for the Project as a result of internal promotions, terminations, and expansions of the EMPLOYER'S workforce, as a result of this Project, including loans, lease agreements, zoning applications, bonds, bids, and contracts.
- F. This Agreement includes apprentices as defined in D.C. Official Code §§ 32-1401- 1431.
- G. DOES will make every effort to work within the terms of all collective bargaining agreements to which the EMPLOYER is a party. The EMPLOYER will provide DOES with written documentation that the EMPLOYER has provided the representative of any collective bargaining unit involved with this Project a copy of this Agreement and has requested comments or objections. If the representative has any comments or objections, the EMPLOYER will promptly provide them to DOES.
- H. EMPLOYER with a contract with the District of Columbia government to perform construction, renovation work, or information technology work with a single contract, or cumulative contracts, of at least \$500,000, within a 12-month period will be required to register an apprenticeship program with the District of Columbia Apprenticeship Council as required by DC Code 32-1431.
- I. If, during the term of this Agreement, the EMPLOYER should transfer possession of all or a portion of its business concerns affected by this Agreement to any other party by lease, sale, assignment, merger, or otherwise this First Source Agreement shall remain in full force and effect and transferee shall remain subject to all provisions herein. In addition, the EMPLOYER as a condition of transfer shall:
  - 1. Notify the party taking possession of the existence of this EMPLOYER'S First Source Employment Agreement.
  - 2. Notify DOES within seven (7) business days of the transfer. This notice will include the name of the party taking possession and the name and telephone of that party's representative.
- J. The EMPLOYER and DOES may mutually agree to modify this Agreement. Any modification shall be in writing, signed by the EMPLOYER and DOES, and attached to the original Agreement.
- K. To the extent that this Agreement is in conflict with any federal labor laws or governmental regulations, the federal laws or regulations shall prevail.

### **III. TRAINING**

- A. DOES and the EMPLOYER may agree to develop skills training and on-the-job training

programs as approved by DOES; the training specifications and cost for such training will be mutually agreed upon by the EMPLOYER and DOES and will be set forth in a separate Training Agreement.

#### **IV. RECRUITMENT**

- A. The EMPLOYER will post all job vacancies with the Job Bank Services of DOES at <http://does.dc.gov> within seven (7) days of executing the Agreement. Should you need assistance posting job vacancies, please contact Job Bank Services at (202) 698-6001.
- B. The EMPLOYER will notify DOES of all new jobs created for the Project within at least seven (7) business days (Monday - Friday) of the EMPLOYER'S identification/creation of the new jobs. The Notice of New Job Creation shall include the number of employees needed by job title, qualifications and specific skills required to perform the job, hiring date, rate of pay, hours of work, duration of employment, and a description of the work to be performed. This must be done before using any other referral source.
- C. Job openings to be filled by internal promotion from the EMPLOYER'S current workforce shall be reported to DOES for placement and referral, if the job is newly created. EMPLOYER shall provide DOES a Notice of New Job Creation that details such promotions in accordance with Section IV.C.
- D. The EMPLOYER will submit to DOES, prior to commencing work on the Project, a list of current employees that includes the name, Social Security Number, and residency status of all current employees, including apprentices, trainees, and laid-off workers who will be employed on the Project. All EMPLOYER information reviewed or gathered, including Social Security Numbers, as a result of DOES' monitoring and enforcement activities will be held confidential in accordance with all District and federal confidentiality and privacy laws and used only for the purposes that it was reviewed or gathered.

#### **V. REFERRAL**

- A. DOES will screen applicants through carefully planned recruitment and training events and provide the EMPLOYER with a list of qualified applicants according to the number of employees needed by job title, qualifications and specific skills required to perform the job, hiring date, rate of pay, hours of work, duration of employment, and a description of the work to be performed as supplied by the EMPLOYER in its Notice of New Job Creation set forth above in Section IV.C.
- B. DOES will notify the EMPLOYER of the number of applicants DOES will refer, prior to the anticipated hiring dates.

#### **VI. PLACEMENT**

- A. The EMPLOYER shall in good faith, use reasonable efforts to select its new hires or employees from among the qualified applicants referred by DOES. All hiring decisions are made by the EMPLOYER.
- B. In the event that DOES is unable to refer qualified applicants meeting the EMPLOYER'S established qualifications, within seven (7) business days (Monday - Friday) from the date of notification from the EMPLOYER, the EMPLOYER will be free to directly fill remaining positions for which no qualified applicants have been referred. The EMPLOYER will still be required to meet the hiring or hours worked percentages for all new jobs created by the Project.

- C. After the EMPLOYER has selected its employees, DOES is not responsible for the employees' actions and the EMPLOYER hereby releases DOES, and the Government of the District of Columbia, the District of Columbia Municipal Corporation, and the officers and employees of the District of Columbia from any liability for employees' actions.

## **VII. REPORTING REQUIREMENTS**

- A. EMPLOYER with Projects valued at a minimum of \$300,000 shall hire DC residents for at least 51% of all new jobs created by the Project and 35% of all apprenticeship hours worked in connection with the Project shall be worked by DC residents registered in programs approved by the District of Columbia Apprenticeship Council.
- B. EMPLOYER with Projects valued at a minimum of \$5,000,000 shall hire DC residents for at least 51% of all new jobs created by the Project and 35% of all apprenticeship hours worked in connection with the Project shall be worked by DC residents registered in programs approved by the District of Columbia Apprenticeship Council; the EMPLOYER will complete the attached Revised Employment Plan that will include the information outlined in Section I.N. above and meet with DOES personnel for an orientation and introduction to personnel responsible for training resources offered by the agency.
- C. EMPLOYER shall have a user name and password for the First Source Employer Portal for electronic submission of all monthly Contract Compliance Forms, weekly certified payrolls and any other documents required by DOES for reporting and monitoring.
- D. EMPLOYER with Projects valued at a minimum of \$300,000 shall provide the following monthly and cumulative statistics on the Contract Compliance Form:
  - 1. Number of new job openings created/available;
  - 2. Number of new job openings listed with DOES, or any other District Agency;
  - 3. Number of DC residents hired for new jobs;
  - 4. Number of employees transferred to the Project;
  - 5. Number of DC residents transferred to the Project;
  - 6. Direct or indirect labor cost associated with the project;
  - 7. Each employee's name, job title, Social Security Number, hire date, residence, and referral source;
  - 8. Number of apprenticeship hours worked;
  - 9. Number of apprenticeship hours worked by DC residents; and
  - 10. Workforce statistics throughout the entire project tenure.
- E. Monthly, EMPLOYER must electronically submit the Contract Compliance Form to DOES.. EMPLOYER is also required to make payroll and employment records available to DOES as a part of compliance monitoring, upon request.

## **VIII. FINAL REPORT AND GOOD FAITH EFFORTS**

- A. With the submission of the final request for payment from the Contracting Agency, the EMPLOYER shall:
  - 1. Document in a report to DOES its compliance with the hiring or hours worked percentage requirements for all new jobs created by the Project and the percentages of DC residents employed in all Trade Classifications, for each area of the Project; or
  - 2. Submit to DOES a request for a waiver of the hiring or hours worked percentage

requirements for all new jobs created by the Project that will include the following documentation:

- a. Documentation supporting EMPLOYER'S good faith effort to comply;
  - b. Referrals provided by DOES and other referral sources; and
  - c. Advertisement of job openings listed with DOES and other referral sources.
- B. DOES may waive the hiring or hours worked percentage requirements for all new jobs created by the Project, and/or the required percentages of DC residents in all Trade Classifications areas on the Project, if DOES finds that:
1. EMPLOYER demonstrated a good faith effort to comply, as set forth in Section C, below; or
  2. EMPLOYER is located outside the Washington Metropolitan Statistical Area and none of the contract work is performed inside the Washington Metropolitan Statistical Area; or
  3. EMPLOYER entered into a special workforce development training or placement arrangement with DOES or with the District of Columbia Workforce Intermediary; or
  4. DOES certified that there are insufficient numbers of DC residents in the labor market possessing the skills required by the EMPLOYER for the positions created as a result of the Project. No failure by Employer to request a waiver under any other provision hereunder shall be considered relevant to a requested waiver under this Subsection.
- C. DOES shall consider documentation of the following when making a determination of a good-faith effort to comply:
1. Whether the EMPLOYER posted the jobs on the DOES job website for a minimum of ten (10) calendar days;
  2. Whether the EMPLOYER advertised each job opening in a District newspaper with city-wide circulation for a minimum of seven (7) calendar days;
  3. Whether the EMPLOYER advertised each job opening in special interest publications and on special interest media for a minimum of seven (7) calendar days;
  4. Whether the EMPLOYER hosted informational/recruiting or hiring fairs;
  5. Whether the EMPLOYER contacted churches, unions, and/or additional Workforce Development Organizations;
  6. Whether the EMPLOYER interviewed employable candidates;
  7. Whether the EMPLOYER created or participated in a workforce development program approved by DOES;
  8. Whether the EMPLOYER created or participated in a workforce development program approved by the District of Columbia Workforce Intermediary;
  9. Whether the EMPLOYER substantially complied with the relevant monthly reporting requirements set forth in this section;
  10. Whether the EMPLOYER has submitted and substantially complied with its most

recent employment plan that has been approved by DOES; and

11. Any additional documented efforts.

## IX. MONITORING

- A. DOES is the District agency authorized to monitor and enforce the requirements of the Workforce Intermediary Establishment and Reform of the First Source Amendment Act of 2011 (D.C. Official Code §§ 2 219.01 – 2.219.05), and relevant provisions of the Apprenticeship Requirements Amendment Act of 2004 (D.C. Official Code § 2-219.03 and § 32-1431). As a part of monitoring and enforcement, DOES may require and EMPLOYER shall grant access to Project sites, employees, and documents.
- B. EMPLOYER'S noncompliance with the provisions of this Agreement may result in the imposition of penalties.
- C. All EMPLOYER information reviewed or gathered, including Social Security Numbers, as a result of DOES' monitoring and enforcement activities will be held confidential in accordance with all District and federal confidentiality and privacy laws and used only for the purposes that it was reviewed or gathered.
- D. DOES shall monitor all Projects as authorized by law. DOES will:
  - 1. Review all contract controls to determine if EMPLOYER and Subcontractors are subject to DC Law 14-24.
  - 2. Notify stakeholders and company officials and establish meetings to provide technical assistance involving the First Source process.
  - 3. Make regular site visits to determine if the EMPLOYER or Subcontractor's workforce is in concurrence with the submitted Agreement and Monthly Compliance Reports.
  - 4. Inspect and copy certified payroll, personnel records and any other records or information necessary to ensure the required workforce utilization is in compliance with the First Source Law.
  - 5. Conduct desk reviews of *Monthly Compliance Reports*.
  - 6. Educate EMPLOYERS about additional services offered by DOES, such as On-the-Job Training programs and tax incentives for EMPLOYERS who hire from certain categories.
  - 7. Monitor and complete statistical reports that identify the overall project, contractor, and subcontractors' hiring or hours worked percentages.
  - 8. Provide formal notification of non-compliance with the required hiring or hours worked percentages or any alleged breach of the First Source Law to all contracting agencies, and stakeholders. *(Please note: EMPLOYERS are granted 30 days to correct any alleged deficiencies stated in the notification.)*

## X. PENALTIES

- A. Willful breach of the Agreement by the EMPLOYER, failure to submit the Contract Compliance Reports, deliberate submission of falsified data, or failure to reach specific hiring or hours worked requirements may result in DOES imposing a fine of 5% of the total amount

of the direct and indirect labor costs of the contract for the positions created by EMPLOYER.

- B. EMPLOYERS who have been found in violation two (2) times or more over a 10-year period may be debarred and/or deemed ineligible for consideration for Projects for a period of five (5) years.
- C. Appeals of violations or fines are to be filed with the Contract Appeals Board.

I hereby certify that I have the authority to bind the EMPLOYER to this Agreement.

By:

\_\_\_\_\_  
EMPLOYER Senior Official

\_\_\_\_\_  
Name of Company

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Email

\_\_\_\_\_  
Associate Director for First Source  
Department of Employment Services  
4058 Minnesota Avenue, NE  
Third Floor  
Washington, DC 20019  
202-698-6284  
firstsource@dc.gov

\_\_\_\_\_  
Date

**EMPLOYMENT PLAN**

NAME OF EMPLOYER: \_\_\_\_\_

ADDRESS OF EMPLOYER: \_\_\_\_\_

TELEPHONE NUMBER: \_\_\_\_\_ FEDERAL IDENTIFICATION NO.: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_ TITLE: \_\_\_\_\_

E-MAIL: \_\_\_\_\_ TYPE OF BUSINESS: \_\_\_\_\_

DISTRICT CONTRACTING AGENCY: \_\_\_\_\_

CONTRACTING OFFICER: \_\_\_\_\_ TELEPHONE NUMBER: \_\_\_\_\_

TYPE OF PROJECT: \_\_\_\_\_ CONTRACT AMOUNT: \_\_\_\_\_

EMPLOYER CONTRACT AMOUNT: \_\_\_\_\_

PROJECT START DATE: \_\_\_\_\_ PROJECT END DATE: \_\_\_\_\_

EMPLOYER START DATE: \_\_\_\_\_ EMPLOYER END DATE: \_\_\_\_\_

**NEW JOB CREATION PROJECTIONS:** Please indicate ALL new position(s) your firm will create as a result of the Project. If the firm WILL NOT be creating any new employment opportunities, please complete the attached justification sheet with an explanation. Attach additional sheets as needed.

JOB TITLE	# OF JOBS		SALARY RANGE	UNION MEMBERSHIP REQUIRED NAME LOCAL#	PROJECTED HIRE DATE
	F/T	P/T			
A					
B					
C					
D					
E					
F					
G					
H					
I					
J					
K					





# Attachment H

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## Davis-Bacon Wage Determination

General Decision Number: DC150002 10/09/2015 DC2

Superseded General Decision Number: DC20140002

State: District of Columbia

Construction Type: Building

County: District of Columbia Statewide.

BUILDING CONSTRUCTION PROJECTS (does not include single family homes or apartments up to and including 4 stories).

Note: Executive Order (EO) 13658 establishes an hourly minimum wage of \$10.10 for 2015 that applies to all contracts subject to the Davis-Bacon Act for which the solicitation is issued on or after January 1, 2015. If this contract is covered by the EO, the contractor must pay all workers in any classification listed on this wage determination at least \$10.10 (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract. The EO minimum wage rate will be adjusted annually. Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Modification Number	Publication Date
0	01/02/2015
1	01/09/2015
2	02/20/2015
3	03/06/2015
4	04/03/2015
5	05/08/2015
6	05/22/2015
7	06/26/2015
8	07/03/2015
9	07/17/2015
10	08/07/2015
11	08/14/2015
12	09/11/2015
13	09/18/2015
14	10/09/2015

ASBE0024-007 10/01/2013

	Rates	Fringes
ASBESTOS WORKER/HEAT & FROST INSULATOR.....	\$ 33.13	13.76

Includes the application of all insulating materials, protective coverings, coatings and finishes to all types of mechanical systems

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ASBE0024-008 10/09/2013

	Rates	Fringes
ASBESTOS WORKER: HAZARDOUS MATERIAL HANDLER.....	\$ 20.86	5.46

Includes preparation, wetting, stripping, removal, scrapping, vacuuming, bagging and disposing of all insulation materials, whether they contain asbestos or not, from mechanical systems

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ASBE0024-014 10/01/2013

	Rates	Fringes
FIRESTOPPER.....	\$ 26.06	5.90

Includes the application of materials or devices within or around penetrations and openings in all rated wall or floor assemblies, in order to prevent the passage of fire, smoke of other gases. The application includes all components involved in creating the rated barrier at perimeter slab edges and exterior cavities, the head of gypsum board or concrete walls, joints between rated wall or floor components, sealing of penetrating items and blank openings.

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BRDC0001-002 05/03/2015

	Rates	Fringes
BRICKLAYER.....	\$ 30.36	9.69

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CARP0132-008 05/01/2015

	Rates	Fringes
CARPENTER, Includes Drywall Hanging, Form Work, and Soft Floor Laying-Carpet.....	\$ 27.56	9.08
PILEDRIVERMAN.....	\$ 26.79	8.85

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CARP1831-002 04/01/2013

	Rates	Fringes
MILLWRIGHT.....	\$ 31.59	8.58

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ELEC0026-016 06/01/2015

	Rates	Fringes
ELECTRICIAN, Includes Installation of HVAC/Temperature Controls.....	\$ 42.80	15.33

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ELEC0026-017 09/01/2014

	Rates	Fringes
ELECTRICAL INSTALLER (Sound & Communication Systems).....	\$ 27.05	8.58

SCOPE OF WORK: Includes low voltage construction, installation, maintenance and removal of teledata facilities (voice, data and video) including outside plant, telephone and data inside wire, interconnect, terminal equipment, central offices, PABX, fiber optic cable and equipment, railroad communications, micro waves, VSAT, bypass, CATV, WAN (Wide area networks), LAN (Local area networks) and ISDN (Integrated systems digital network).

WORK EXCLUDED: The installation of computer systems in industrial applications such as assembly lines, robotics and computer controller manufacturing systems. The installation of conduit and/or raceways shall be installed by Inside Wiremen. On sites where there is no Inside Wireman employed, the Teledata Technician may install raceway or conduit not greater than 10 feet. Fire alarm work is excluded on all new construction sites or wherever the fire alarm system is installed in conduit. All HVAC control work.

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ELEV0010-001 01/01/2015

	Rates	Fringes
ELEVATOR MECHANIC.....	\$ 41.09	28.385+a+b

a. PAID HOLIDAYS: New Year's Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, Christmas Day and the Friday after Thanksgiving.

b. VACATIONS: Employer contributes 8% of basic hourly rate for 5 years or more of service; 6% of basic hourly rate for 6 months to 5 years of service as vacation pay credit.

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IRON0005-005 06/01/2015

	Rates	Fringes
IRONWORKER, STRUCTURAL AND ORNAMENTAL.....	\$ 30.65	18.135

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IRON0201-006 05/01/2015

	Rates	Fringes
IRONWORKER, REINFORCING.....	\$ 27.50	18.58

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LABO0657-015 06/01/2015

	Rates	Fringes
LABORER: Skilled.....	\$ 22.63	7.31

FOOTNOTE: Potmen, power tool operator, small machine operator, signalmen, laser beam operator, waterproofer, open caisson, test pit, underpinning, pier hole and ditches, ladders and all work associated with lagging that is not expressly stated, strippers, operator of hand derricks, vibrator operators, pipe layers, or tile layers, operators of jackhammers, paving breakers, spaders or any machine that does the same general type of work, carpenter tenders, scaffold builders, operators of towmasters, scootcretes, buggymobiles and other machines of similar character, operators of tampers and rammers and other machines that do the same general type of work, whether powered by air, electric or gasoline, builders of trestle scaffolds over one tier high and sand blasters, power and chain saw operators used in clearing, installers of well points, wagon drill operators, acetylene burners and licensed powdermen, stake jumper, demolition.

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MARB0002-004 05/03/2015

	Rates	Fringes
MARBLE/STONE MASON.....	\$ 35.19	15.72

INCLUDING pointing, caulking and cleaning of All types of masonry, brick, stone and cement EXCEPT pointing, caulking, cleaning of existing masonry, brick, stone and cement (restoration work)

---

MARB0003-006 05/03/2015

	Rates	Fringes
TERRAZZO WORKER/SETTER.....	\$ 26.75	10.28

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MARB0003-007 05/03/2015

	Rates	Fringes
TERRAZZO FINISHER.....	\$ 21.96	9.35

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MARB0003-008 05/03/2015

	Rates	Fringes
TILE SETTER.....	\$ 26.75	10.28

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MARB0003-009 05/03/2015

	Rates	Fringes
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TILE FINISHER.....\$ 21.96 9.35

PAIN0051-014 06/01/2014

Rates Fringes

GLAZIER

Glazing Contracts \$2 million and under.....\$ 24.77 9.85  
Glazing Contracts over \$2 million.....\$ 28.61 9.85

PAIN0051-015 06/01/2014

Rates Fringes

PAINTER

Brush, Roller, Spray and Drywall Finisher.....\$ 24.89 9.05

PLAS0891-005 07/01/2013

Rates Fringes

PLASTERER.....\$ 28.33 5.85

PLAS0891-006 02/01/2014

Rates Fringes

CEMENT MASON/CONCRETE FINISHER...\$ 27.15 9.61

PLAS0891-007 08/01/2014

Rates Fringes

FIREPROOFER

Handler.....\$ 16.50 4.24  
Mixer/Pump.....\$ 18.50 4.24  
Sprayer.....\$ 23.00 4.24

Spraying of all Fireproofing materials. Hand application of Fireproofing materials. This includes wet or dry, hard or soft. Intumescent fireproofing and refraction work, including, but not limited to, all steel beams, columns, metal decks, vessels, floors, roofs, where ever fireproofing is required. Plus any installation of thermal and acoustical insulation. All that encompasses setting up for Fireproofing, and taken down. Removal of fireproofing materials and protection. Mixing of all materials either by hand or machine following manufactures standards.

PLUM0005-010 08/01/2015

Rates Fringes

PLUMBER.....\$ 39.67 16.60+a

a. PAID HOLIDAYS: Labor Day, Veterans' Day, Thanksgiving Day and the day after Thanksgiving, Christmas Day, New Year's Day, Martin Luther King's Birthday, Memorial Day and the Fourth of July.

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\* PLUM0602-008 08/01/2015

	Rates	Fringes
PIPEFITTER, Includes HVAC Pipe Installation.....	\$ 38.89	19.97+a

a. PAID HOLIDAYS: New Year's Day, Martin Luther King's Birthday, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day and the day after Thanksgiving and Christmas Day.

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ROOF0030-016 05/01/2015

	Rates	Fringes
ROOFER.....	\$ 28.50	11.04

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SFDC0669-002 04/01/2015

	Rates	Fringes
SPRINKLER FITTER (Fire Sprinklers).....	\$ 32.40	18.12

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SHEE0100-015 07/01/2015

	Rates	Fringes
SHEET METAL WORKER (Including HVAC Duct Installation).....	\$ 39.79	16.77+a

a. PAID HOLIDAYS: New Year's Day, Martin Luther King's Birthday, Memorial Day, Independence Day, Labor Day, Veterans Day, Thanksgiving Day and Christmas Day

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SUDC2009-003 05/19/2009

	Rates	Fringes
LABORER: Common or General.....	\$ 13.04	2.80
LABORER: Mason Tender - Cement/Concrete.....	\$ 15.40	2.85

LABORER: Mason Tender for  
pointing, caulking, cleaning

of existing masonry, brick,  
stone and cement structures  
(restoration work); excludes  
pointing, caulking and  
cleaning of new or  
replacement masonry, brick,  
stone and cement.....\$ 11.67

POINTER, CAULKER, CLEANER,  
Includes pointing, caulking,  
cleaning of existing masonry,  
brick, stone and cement  
structures (restoration  
work); excludes pointing,  
caulking, cleaning of new or  
replacement  
masonry, brick, stone or  
cement.....\$ 18.88

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WELDERS - Receive rate prescribed for craft performing  
operation to which welding is incidental.

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Unlisted classifications needed for work not included within  
the scope of the classifications listed may be added after  
award only as provided in the labor standards contract clauses  
(29CFR 5.5 (a) (1) (ii)).

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The body of each wage determination lists the classification  
and wage rates that have been found to be prevailing for the  
cited type(s) of construction in the area covered by the wage  
determination. The classifications are listed in alphabetical  
order of "identifiers" that indicate whether the particular  
rate is a union rate (current union negotiated rate for local),  
a survey rate (weighted average rate) or a union average rate  
(weighted union average rate).

#### Union Rate Identifiers

A four letter classification abbreviation identifier enclosed  
in dotted lines beginning with characters other than "SU" or  
"UAVG" denotes that the union classification and rate were  
prevailing for that classification in the survey. Example:  
PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of  
the union which prevailed in the survey for this  
classification, which in this example would be Plumbers. 0198  
indicates the local union number or district council number  
where applicable, i.e., Plumbers Local 0198. The next number,  
005 in the example, is an internal number used in processing  
the wage determination. 07/01/2014 is the effective date of the

most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

#### Survey Rate Identifiers

Classifications listed under the "SU" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

#### Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the classifications was union data. EXAMPLE: UAVG-OH-0010 08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

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#### WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- \* an existing published wage determination
- \* a survey underlying a wage determination
- \* a Wage and Hour Division letter setting forth a position on a wage determination matter

\* a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour Regional Office for the area in which the survey was conducted because those Regional Offices have responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISION

# Attachment I

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## Bid Bond Form

**Attachment I**

**GOVERNMENT OF THE DISTRICT OF COLUMBIA**

<b>PROPOSAL BOND</b> (See Instructions on 2 <sup>nd</sup> page)	<b>Date Bond Executed:</b> (Must Not be Later Than Bid Opening Date)			
<b>PRINCIPAL (Legal Name and Address)</b>	<b>TYPE OF ORGANIZATION ("X")</b>			
	<input type="checkbox"/> <b>INDIVIDUAL</b>		<input type="checkbox"/> <b>PARTNERSHIP</b>	
	<input type="checkbox"/> <b>JOINT VENTURE</b>		<input type="checkbox"/> <b>CORPORATION</b>	
	<b>STATE OF INCORPORATION</b>			
<b>SURETY(IES) (Name(s) and Address(es))</b>	<b>AMOUNT NOT TO EXCEED</b>			<b>5% OF BID</b>
	<b>MILLION(S)</b>	<b>THOUSAND(S)</b>	<b>HUNDRED(S)</b>	<b>CENTS</b>
	<b>PROPOSAL IDENTIFICATION</b>			
	<b>PROPOSAL CLOSING DATE</b>		<b>REQUEST FOR PROPOSAL NO.</b>	

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety(ies) hereto are firmly bound to the District of Columbia Government, a municipal corporation, hereinafter called "the District", in the above penal sum for the payment of which we bind ourselves, our heirs, executors, and successors, jointly and severally; Provided that, where the Surety(ies) are corporations acting as co-sureties, we, the Sureties, bind ourselves in such sum "jointly" and "severally" only for the purpose of allowing a joint action against any or all of us, and for all other purposes each Surety bonds itself, jointly and severally with the Principal, for the payment of such sum only as is set forth opposite the name of such Surety, but if no limit of liability is indicated, the limit of liability shall be the full amount of the penal sum.

THE CONDITION OF THIS OBLIGATION IS SUCH that whereas the Principal has submitted the bid identified above. NOW THEREFORE, if the Principal shall not withdraw said bid within the period specified therein after the receipt of the same, or, no period be specified, within ninety (90) calendar days after said receipt, and shall within the period specified therefore, or, if no period be specified, within ten (10) calendar days after being called upon to do so, furnish Performance & Payment Bonds with good and sufficient surety, as may be required, for the faithful performance and proper fulfillment of the Contract, and for the protection of all persons supplying labor and material in the prosecution of the work provided for in such Contract or, in the event of withdrawal of said bid, within the period specified, or the failure to furnish such bond within the time specified, if the Principal shall pay the District the difference between the amount specified in said bid and the amount for which the District may procure the required work and/or supplies, if the latter amount be in excess of the former, then the above obligations shall be void and of no effect, otherwise to remain in full force and virtue. Each Surety executing this bond hereby agrees that its obligation shall not be impaired by extension(s) of time for acceptance of the bid that the Principal may grant to the District, notice of which extension(s) to Surety (ies) being hereby waived: Provided that such waiver of notice shall apply only with respect to extensions aggregating not more than sixty (60) calendar days in addition to the period originally allowed for acceptance of the bid.

IN WITNESS WHEREOF, the Principal and Surety (ies) have executed this bid bond and have affixed their seals on the date set forth above.

**PRINCIPAL**

<b>1. SIGNATURE</b>  Seal  Name & Title (typed)	<b>1. ATTEST</b>	<b>Corporate Seal</b>
	Name & Title (typed)	
<b>2. SIGNATURE</b>  Seal  Name & Title (typed)	<b>2. ATTEST</b>	<b>Corporate Seal</b>
	Name & Title (typed)	

## CERTIFICATE AS TO CORPORATION

I, \_\_\_\_\_, certify that I am \_\_\_\_\_, Secretary of the Corporation, named as Principal herein, that \_\_\_\_\_, who signed this bond, on behalf of the Principal, was then of said Corporation; that I know his signature, and his signature thereto is genuine; that said bond was duly signed and sealed for and in behalf of said Corporation by authority of its governing body, and is within the scope of its corporate powers.

\_\_\_\_\_  
Secretary of Corporation

### SURETY(IES)

<b>1. Name &amp; Address (typed)</b>	<b>State of Inc.</b>	<b>Liability Limit</b>	<b>Corporate Seal</b>
<b>Signature of Attorney-in-Fact</b>	<b>Attest (Signature)</b>		
<b>Name &amp; Address (typed)</b>	<b>Name &amp; Address (typed)</b>		
<b>1. Name &amp; Address (typed)</b>	<b>State of Inc.</b>	<b>Liability Limit</b>	<b>Corporate Seal</b>
<b>Signature of Attorney-in-Fact</b>	<b>Attest (Signature)</b>		
<b>Name &amp; Address (typed)</b>	<b>Name &amp; Address (typed)</b>		

### INSTRUCTIONS

1. This form shall be used whenever a bid guaranty is required in connection with construction, alteration and repair work.
2. Corporations name should appear exactly as it does on Corporate Seal and inserted in the space designated "Principal" on the face of this form. If practicable, bond should be signed by the President or Vice President; if signed by other official, evidence of authority must be furnished. Such evidence should be in the form of an Extract or Minutes of a Meeting of the Board of Directors, or Extract of Bylaws, certified by the Corporate Secretary, or Assistant Secretary and Corporate Seal affixed thereto. CERTIFICATE AS TO CORPORATION must be executed by Corporate Secretary or Assistant Secretary.
3. Corporations executing the bond as sureties must be among those appearing on the U. S. Treasury Department's List of approved sureties and must be acting within the limitations set forth therein, and shall be licensed by the Insurance Administration, Department of Consumer and Regulatory Affairs, to do business in the District of Columbia. The surety shall attach hereto an adequate Power-Of-Authority for each representative signing the bond.
4. Corporations executing the bond shall affix their Corporate Seals. Individuals shall sign full first name, middle initial and last name opposite the word "seal", two witnesses must be supplied, and their addresses, under the word "attest". If executed in Maine or New Hampshire, an adhesive seal shall be affixed.
5. Names of all partners must be set out in body of bond form, with the recital that they are partners composing a firm, naming it, and all members of the firm shall execute the bond as individuals. Each signature must be witnessed by two persons and addresses supplied.

# Attachment J

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## Bid Guaranty Certification

**Attachment J**

**Certification Letter for Cashier's Check or Irrevocable Letter of Credit**

Offerors who submit a cashier's check or an irrevocable letter of credit ("Alternate Bid Security") in lieu of a bid bond must also submit this certification, properly notarized, with their proposal. By executing this document, Offeror acknowledges that, if awarded this contract, Offeror shall be required to post promptly a payment and performance bond equal to the full value of the contract. In the event Offeror fails to post such payment and performance bond, the Offeror understands and agrees that; (i) the Department shall draw upon the Alternate Bid Security as liquidated damages; (ii) the award and or contract shall be terminated; (iii) for a period of two (2) years thereafter, the Department will not accept from such Offeror Alternate Bid Security in lieu of a bid bond; and (iv) the Offeror hereby waives the right to protest the termination of any such award or contract. The Offeror further acknowledges and agrees that the damages the Department would experience in the event such award or contract are terminated due to the Offeror's failure to post a payment and performance bond are difficult to determine and that the value of the Alternate Bid Security represents a reasonable estimate of the damages the Department would incur.

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

(District of Columbia):

On the \_\_\_\_ day of \_\_\_\_\_, 2015, before me, a notary public in and for the District of Columbia, personally appeared \_\_\_\_\_, who acknowledged himself/herself to be \_\_\_\_\_ of \_\_\_\_\_, and that he/she as such, being authorized to do so, executed the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

\_\_\_\_\_

Notary Public  
My Commission Expires: \_\_\_\_\_

# Attachment K

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Award/Signature Page

AWARD/CONTRACT		1. Caption <b>Renovation of DYRS Gymnasium and Courtyard</b>	Page of Pages	
			1	70
2. Solicitation/Contract Number <b>DCAM-16-NC-0040</b>		3. Effective Date <b>See Block 18C</b>		
5. Issued By: <b>Department of General Services Contracts and Procurement Division 2000 14<sup>th</sup> Street, 8<sup>th</sup> Floor Washington, DC 20009</b>		4. Requisition/Purchase Request/Project No.		
7. Name and Address of Contractor		6. Administered by (If other than line 5)		
		8. Delivery <input type="checkbox"/> FOB Origin <input type="checkbox"/> Other		
		9. RESERVED		
		10. Submit invoices as described in Section I.3.		
11. RESERVED		12. Payment will be made by <b>Government of the District of Columbia Department of General Services Office of the Chief Financial Officer 2000 14<sup>th</sup> Street, 5<sup>th</sup> Floor Washington, DC 20009</b>		
13. Acknowledgement of Amendments The Bidder acknowledges receipt of amendments to the SOLICITATION		Amendment No.	Date	
14. Supplies/Services/Price See Section B – Scope Of Work and Bid Form (Attachment A)				
<b>15. Table of Contents</b>				
Section	Description	Pages		
A	Cover Page/Signature Page	Page 1- Page 3		
B	Scope of Work	Page 4- Page 18		
C	Economic Inclusion	Page 19- Page 26		
D	Lump Sum Price	Page 27 – Page 29		
E	Evaluation and Award Criteria	Page 30		
F	Bid Organization and Submission	Page 31 – Page 32		
G	Bidding Procedures and Protests	Page 33 – Page 35		
H	Insurance and Bond Requirements	Page 36 - Page 37		
I	Department's Responsibilities	Page 38 - Page 44		
J	Contract Changes	Page 45 – Page 49		
K	Miscellaneous Provisions	Page 50 - Page 67		
L	Definitions	Page 68 - Page 70		
<i>Contracting Officer will complete Item 16</i>				
16. <input type="checkbox"/> AWARD Your bid for the above referenced Solicitation including your Bid and Offer Letter and Bid Form is hereby accepted. Contractor agrees to furnish and deliver all items, perform all the services set forth or otherwise identified above and on any continuation sheets, for the consideration stated herein.				
17A. Name and Title of Signer (Type or print)			18A. Name of Contracting Officer	
17B.  (Signature of person authorized to sign)		17C. Date Signed	18B.  (Signature of Contracting Officer)	18C. Date Signed
		<b>Government of the District of Columbia Department of General Services</b>		